

Public Document Pack



PLANNING COMMITTEE

Tuesday, 23rd April, 2019 at 7.30 pm
Venue: Conference Room
Civic Centre, Silver Street,
Enfield EN1 3XA

Contact: Jane Creer / Metin Halil
Committee Administrator
Direct : 020-8379-4093 / 4091
Tel: 020-8379-1000
Ext: 4093 / 4091

E-mail: jane.creer@enfield.gov.uk
metin.halil@enfield.gov.uk
Council website: www.enfield.gov.uk

MEMBERS

Councillors : Mahmut Aksanoglu (Chair), Maria Alexandrou, Chris Bond,
Sinan Boztas, Elif Erbil, Ahmet Hasan, Gina Needs, Sabri Ozaydin,
Michael Rye OBE, George Savva MBE, Jim Steven and Mahtab Uddin

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm
Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 18/04/19

AGENDA – PART 1

1. WELCOME AND APOLOGIES FOR ABSENCE

2. DECLARATION OF INTEREST

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non-pecuniary interests relevant to items on the agenda.

3. MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 19 MARCH 2019 (Pages 1 - 6)

To receive the minutes of the Planning Committee meeting held on Tuesday 19 March 2019.

4. REPORT OF THE HEAD OF PLANNING (REPORT NO.219) (Pages 7 - 8)

To receive the covering report of the Head of Planning.

5. **19/00722/FUL - 47 RUSSELL ROAD, ENFIELD, EN1 4TN** (Pages 9 - 22)

RECOMMENDATION: Approval subject to conditions.
WARD: Town

6. **18/01539/FUL - 70A AND 72 THE RIDGEWAY, ENFIELD, EN2 8JB**
(Pages 23 - 62)

RECOMMENDATION: That subject to the completion of a S106 Agreement to secure the obligations as set out in Section 7.54 of this report, the Head of Development Management /the Planning Decisions Manager be authorised to grant planning permission subject to the conditions.

WARD: Highlands

7. **19/00632/FUL - MERIDIAN WORKS, UNITS 4, 5, 6, 9 AND 9A AND ADJACENT LAND AT ORBITAL BUSINESS PARK, 5 ARGON ROAD, EDMONTON, N18 3BW** (Pages 63 - 94)

RECOMMENDATION: That, subject to the receipt of satisfactory ecological survey results, the Head of Development Management/Planning Decisions Manager be authorised to GRANT planning permission subject to conditions and add any additional planning conditions necessary to secure appropriate mitigation as well as make any minor amendments to the wording of the conditions drafted in Part 1 of this report.

WARD: Edmonton Green

8. **18/03590/FUL - WALKER PRIMARY SCHOOL, WATERFALL ROAD, LONDON, N14 7EG** (Pages 95 - 140)

RECOMMENDATION: Granted subject to conditions
WARD: Southgate

9. **SECTION 106 MONITORING REPORT (REPORT NO.224)** (Pages 141 - 150)

To receive the report of the Executive Director Place, providing an update on the monitoring of Section 106 Agreements (S106) and progress on Section 106 matters.

(Report No.224)

(Annexes -To FOLLOW)

PLANNING COMMITTEE - 19.3.2019

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 19 MARCH 2019****COUNCILLORS**

PRESENT Mahmut Aksanoglu, Maria Alexandrou, Chris Bond, Sinan Boztas, Ahmet Hasan, Sabri Ozaydin, Michael Rye OBE, George Savva MBE and Jim Steven

ABSENT Elif Erbil, Gina Needs and Mahtab Uddin

OFFICERS: Vincent Lacovara (Head of Planning), Andy Higham (Head of Development Management), Sharon Davidson (Planning Decisions Manager), David Gittens (Planning Decisions Manager) and Dominic Millen (Group Leader Transportation) and Metin Halil (Committee Administrator)

Also Attending: 7 members of the public, applicant and agent representatives

1023**WELCOME AND APOLOGIES FOR ABSENCE**

Councillor Aksanoglu, Chair, welcomed all attendees.

Apologies for absence was received from Councillors Needs, Uddin, E. Erbil and Dennis Stacey (CAG).

1024**DECLARATION OF INTEREST**

NOTED there were no declarations of interest.

1025**MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 26
FEBRUARY 2019**

AGREED that the minutes of the Planning Committee meeting held on Tuesday 26 February 2019 were agreed as a correct record.

NOTED

PLANNING COMMITTEE - 19.3.2019

1. Councillor Bond referred to minute No.975 – 18/02170/FUL – Russett House School, 11 Autumn Close, EN1 4JA – stating that there was mention of an opening on the north side of the A10 as an exit from the school.
2. Andy Higham (Head of Development Management) clarified that he would be contacting Keith Rowley (Director of School Expansions & Asset Management support) about this and would then e-mail the Committee).

1026

REPORT OF THE HEAD OF PLANNING (REPORT NO.204)

RECEIVED the report of the Head of Planning.

1027

18/00478/FUL - 3 UPLANDS PARK ROAD, EN2 7PU

NOTED

1. The introduction by David Gittens, Planning Decisions Manager, clarifying the proposals.
2. The deputation of John Davies, neighbouring resident.
3. The response of David Cunningham, Architect.
4. Members debate and questions responded to by officers.
During the discussion, it was confirmed to Members that there would be a revision to Condition 8 to include specific mention of 9 new trees to be planted within the site and a new condition requiring nesting birds to be protected in the context of impending tree works. There was also to be a revision to Condition 18 to include specific reference to screening the staircase.
5. The support of the majority of the Committee for the officers' recommendation: 6 votes for and 3 votes against.

AGREED that planning permission be granted, subject to the conditions set out in the report and additional conditions.

1028

18/04614/HOU - 18, RUSSELL ROAD, ENFIELD, EN1 4TN

NOTED

1. The introduction by David Gittens, Planning Decisions Manager, clarifying the proposals and that the application only came to committee because the applicant was an employee of the Council.

PLANNING COMMITTEE - 19.3.2019

2. The unanimous support of the Committee for the officers' recommendation.

AGREED that planning permission be granted, subject to the conditions set out in the report.

1029

18 /04914/RE4 - VACANT LAND TO THE SOUTH OF UNITS 4,5,6,9 AND 9A ORBITAL BUSINESS PARK, 5 ARGON ROAD, EDMONTON, N18 3BW

NOTED

1. The introduction by Sharon Davidson, Planning Decisions Manager, clarifying the proposals and revised conditions.
2. Since the completion of the report there have been a number of small technical changes made to the content of the application, in addition comments have been received from the Lee Valley Regional Park Authority. An update note was circulated, setting out their comments, the changes proposed, and the response received from the relevant consultees to these changes.
3. Some further technical modifications have been made today. These include:
 - a. The proposal to use clay as the capping material remains but, in the event, that there is insufficient material available at the source site, the applicant has requested the flexibility to use either Clay or Class A1 fill. One site for the source of the Clay has already been agreed with the Environment Agency and therefore does not require the sampling obligation set out in condition 3 of this report. A modification to this condition to reflect this is proposed and this has been agreed by the EA.
 - b. Amendment to the construction access arrangements. Originally it was proposed to access the site via the Orbital Business Park and exit via Leaside Road to the south. Due to the adhoc parking that takes place on this road and therefore the limited carriageway width remaining, this is not considered appropriate or the best solution. It is now therefore proposed to both access and exit the site via the Orbital Business Park. Traffic and Transportation have confirmed this is acceptable and that there is no longer a need for condition 7 as recommended in the report as this survey related to Leaside Road only.
 - c. Members attention is also drawn to the fact that access track around the site has been reduced from 8m to 5m in width. This has been the subject of consultation with the Environment Agency and no objections are raised. An amendment to condition 11 is required to reflect this.
4. The combination of the technical changes proposed has resulted in a number of changes to conditions. For clarity I will set these out in full,

PLANNING COMMITTEE - 19.3.2019

picking up on those the subject of yesterday's update note and the further small changes reflecting matters that have been modified today:

- a. Condition 1 – Unchanged
 - b. Condition 2 – Updated to reflect updated documents reflecting the changes already set out.
 - c. Condition 3 - Unless the material is sourced from 73-75 Avenue Road, London NW8 6JD, development hereby permitted may not commence until a scheme to sample any imported materials from other sites has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented as approved.
 - d. Condition 4 - Prior to the commencement of any uses on any part of the permitted development, a verification report demonstrating the completion of works set out in the approved sampling scheme shall be submitted to, and approved in writing, by the Local Planning Authority. The report shall include results of sampling and demonstrate that the site import criteria as defined in the submitted IKEA Clear, Meanwhile Use Import Criteria report (produced by SLR, dated 15 February 2019) have been met.
 - e. Condition 5 – Unchanged
 - f. Condition 6 – Unchanged
 - g. Condition 7 – No longer required as construction access arrangements amended.
 - h. Condition 8 – Unchanged
 - i. Condition 9 – Unchanged
 - j. Condition 10 - All areas of trees, scrub or other vegetation where birds may nest, or reptiles may be present which are to be removed as part of the development are to be cleared outside the following periods:
 - i) Bird nesting season March – August inclusive
 - ii) Reptile season – April to October inclusiveIf clearance within these periods cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds or reptiles are present. If active nests or reptiles are recorded, no vegetation clearance or other works that may disturb active nests or reptiles shall proceed until all young have fledged the nest or and agreed mitigation strategy to deal with reptiles has been agreed with the qualified ecologist
 - k. Condition 11- No vegetation clearance or capping is to occur within 5m of the River Lea or in the Flood Area
 - L. Condition 12 - Unchanged.
5. Members' debate and questions responded to by officers, including details about the intended clay cap for the meanwhile use of Meridian Water land.
6. The support of the majority of the Committee for the officers' recommendation: 8 votes for and 1 abstention.

PLANNING COMMITTEE - 19.3.2019

AGREED that in accordance with Regulation 4 of the Town and Country Planning General Regulations 1992, planning permission be granted subject to revised conditions and additional condition (EA) below:

No drainage systems for the infiltration of surface water to the ground are permitted other than with the written consent of the Local Planning Authority. Any proposals for such systems must be supported by an assessment of the risks to controlled waters. The development shall be carried out in accordance with the approved details.

Reason: In addition to any drainage during the works there is now a proposal for a drainage system for the development culminating in the flood relief area. Contaminants have been identified and the concentration of drainage infiltration in this area may cause increased mobilisation of contaminants.

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MUNICIPAL YEAR 2018/2019 - REPORT NO 219

COMMITTEE:
 PLANNING COMMITTEE
 23.04.2019

AGENDA - PART 1	ITEM 4
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SUBJECT -

MISCELLANEOUS MATTERS

REPORT OF:
 Head of Planning

Contact Officer:
 Planning Decisions Manager
 David Gittens Tel: 020 8379 8074
 Kevin Tohill Tel: 020 8379 5508

4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

4.1.1 In accordance with delegated powers, 447 applications were determined between 06/03/2019 and 10/04/2019, of which 341 were granted and 106 refused.

4.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 23 April 2019

Report of

Assistant Director, Regeneration
& Planning

Contact Officer:

Andy Higham Tel: 020 8379 3848
James Clark Tel: 020 8379 4206

Ward: Town

Application Number: 19/00722/FUL

Category: Minor

LOCATION: 47 Russell Road, Enfield, EN1 4TN

PROPOSAL: Erection of a single storey rear extension.

Applicant Name & Address:

Ms Nesil Caliskan
47 Russell Road
Enfield
EN1 4TN

Agent Name & Address:

Ms Nesil Caliskan
47 Russell Road
Enfield
EN1 4TN

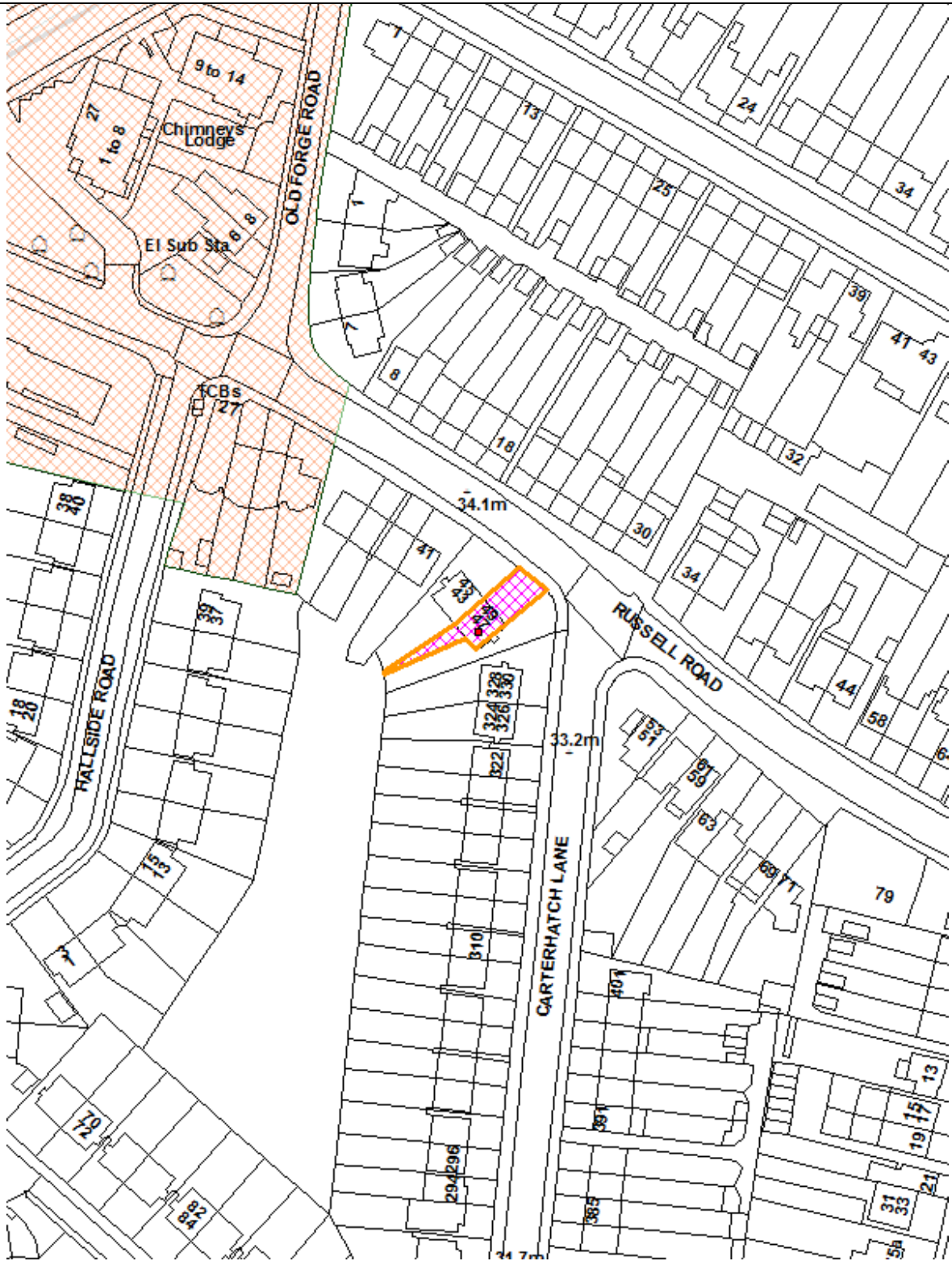
RECOMMENDATION:

It is recommended that planning permission be **GRANTED** subject to conditions.

Note for Members:

This application is being presented to committee as the applicant is an Enfield Councillor.

Ref: 19/00722/FUL LOCATION: 47 Russell Road, Enfield, EN1 4TN,



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Scale 1:1250

North



Executive Summary

The proposed planning application is referred to Planning committee under the adopted Enfield scheme of delegation (adopted 17th October 2017) as per exceptions to the delegated authority under Appendix 1, part 8 as per below,

“Applications submitted by or on behalf of a Councillor (or their spouse/partner) or by any member of staff (or their spouse/partner) responsible to the Assistant Director (Regeneration & Planning) of this Council. Private applications made by or on behalf of a Director, the Assistant Director (Regeneration & Planning) and the Chief Executive of this Council and their respective spouses/partners; or other members of staff who regularly attend Planning Committee”.

The planning application is submitted by the leader of the council and therefore falls under criteria within Appendix 1, part 8 of the adopted delegated scheme of delegation.

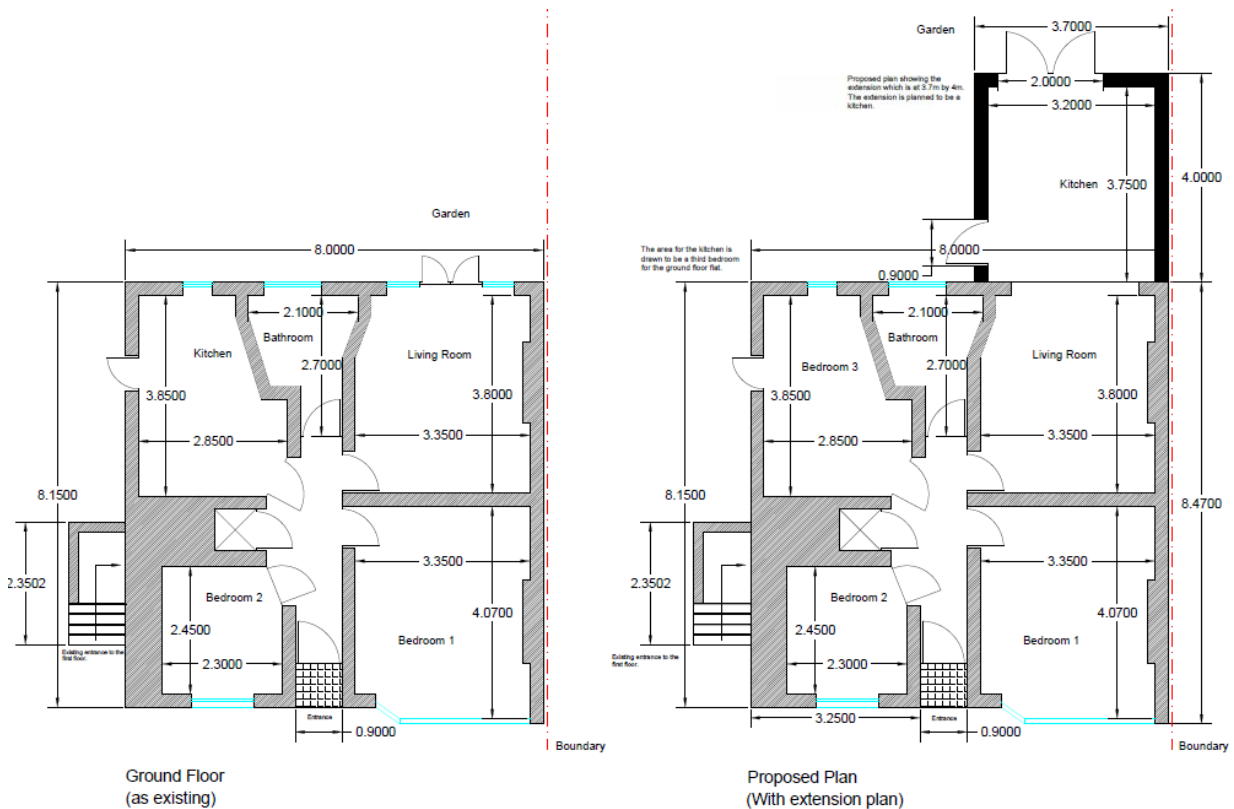
1.0 Site and Surroundings

- 1.1 The application site is a ground floor maisonette property forming part of a two-storey block comprises four (4) maisonettes No's 45, 47, 49 & 51 Russell Road. The two-storey block of maisonettes forms part of a prevailing pattern of two storey hipped roof residential buildings and two-storey dwelling houses along Russell Road. The maisonette is located on the south side of Russell Road with access to the rear of the site from the side of the property via a right of way from the street.
- 1.2 The site is not located within a conservation area and is not a Listed Building. There are no trees in close proximity to the rear elevation of the building.

2.0 Proposal

- 2.1 Planning permission is sought for the erection of a single storey ground floor rear extension, 4m in depth, 3.7m in width, 2.9m at the highest point sloping down to 2.6m at the eaves with a roof light inserted.
- 2.2 The proposed extension shall be rendered in a colour and form to closely match the existing building and use roof tiles to match the existing host dwelling tiles. As part of the extension the fence adjacent the flank elevation would be removed, and a flank door would be inserted to the east facing elevation to provide access to the shared right of way to the side of the building.

Existing and proposed floorplan of the single storey rear extension illustrated below:



4.0 Relevant Planning History

4.1 No relevant planning history is present on the site

5.0 Consultation

5.1 Public

Letters were sent to 13 adjoining and nearby residents, at the time of writing the report no objections were received. The neighbouring properties consulted are listed below:

- 39 Hallside Road
- 37 Hallside Road
- 35 Hallside Road
- 33 Hallside Road
- 31 Hallside Road
- 29 Hallside Road
- 27 Hallside Road
- 25 Hallside Road
- 330 Carterhatch Lane
- 328 Carterhatch Lane
- 49 Russell Road
- 45 Russell Road
- 43 Russell Road

5.2 Internal and External Consultees - none undertaken

6.0 Relevant Policies

6.1 London Plan

Policy 7.4 Local character
Policy 7.6 Architecture

6.2 Core Strategy

CP30 Maintaining and improving the quality of the built and open environment

6.3 Development Management Document

DMD 11 Rear extensions
DMD 37 Design

6.4 Other Policy

NPPF
NPPG
Enfield Characterisation Study

7.0 Analysis

Design and appearance

7.1 Policy DMD 11 of the Enfield Development Management Document (2014) seeks to ensure that rear extensions to existing residential properties do not result in adverse visual impacts, do not exceed 3 metres in depth beyond the original rear wall in the case of terraces and semi-detached properties and in cases of flat roofs do not exceed a height of 3m from ground floor level. Part 2 of Policy DMD 11 provides the following expectations of single-storey rear extensions to be acceptable:

a. Not exceed 3 metres in depth beyond the original rear wall in the case of terraced and semi-detached properties, or 4 metres for detached dwellings. In the case of a flat roof, the single-storey extension should not exceed a height of 3 metres from ground level when measured to the eaves with an allowance of between 3.3-3.5 metres to the top of a parapet wall. For pitched roofs the extension should not exceed 4 metres in height when measured from the ridge and 3 metres at the eaves.

7.2 Policy DMD 37 (Achieving High Quality and Design-Led Development) of the Development Management Document (2014) provides further design guidance for development. The main points are provided below,

1) Development that is not suitable for its intended function, that is inappropriate to its context, or which fails to have appropriate regard to its surroundings, will be refused.

2) Development should capitalise on the opportunities available for improving an area in accordance with the following objectives of urban design:

“Character: Locally distinctive or historic patterns of development, landscape and culture that make a positive contribution to quality of life and a place’s identity should be reinforced”.

7.3 The proposed extension would project 4m beyond the original rear elevation and extend 3.7m in width along the rear elevation of the maisonette. The extension would not project into the adjacent garden serving the upper maisonette unit No 49 Russell Road but would have an outward opening door on to the boundary to the existing shared access.

7.4 The extension would therefore not comply with Council policy in respect to the 3m depth however, due to the low profile of the development, is considered to be subservient to the property. While the extension would be 4m, it would only be half the width of the property and low in height compared to typical household extensions at a height of 2.9m sloping down to 2.7m at the eaves which is generally small in scale for a household extension.

7.5 While there are no extensions on the immediately adjoining properties, there are a number of extensions within the row of properties of varying depths, styles and heights, furthermore as there are a number of prior approvals which exceed the 3m in Councils policy, there is no typical established character to extensions in terms of depth. While the proposed extension would exceed the policy 3m due to the very low profile proposed at 2.9m at the maximum height, together with it being narrow in width, the development would appear modest in relation to the dwelling. As such in terms of character and appearance, due to the low profile of the development and the location to the rear of the property, built in materials to match the existing, the proposed development is considered to no impact on the host dwelling or the surrounding area, appearance subservient to the property.

Impact on Residential Amenity

- 7.6 Policy DMD 11 seeks to ensure that residential extensions do not negatively impact on the residential amenities of neighbouring properties. Part 2 (b) of the DMD 11 states:

b. Not exceed a line taken at a 45-degrees from the mid-point of the nearest original ground floor window to any of the adjacent properties;

As with the application site, there is a large double door adjacent to the boundary fence and therefore as this is close to the boundary, it would likely break this 45° line, potentially increasing the sense of enclosure and loss of outlook. That being said, as the windows are double doors and windows, it is unlikely there would be more than a negligible loss of daylight/sunlight from the proposal due to its low profile.

- 7.7 Furthermore, as the boundary with the neighbouring property has established boundary fence and substantial vegetation which would exceed the height of the proposed extension, officers consider that the proposed development would have no greater impact on the neighbour than the existing arrangement and as such would be considered acceptable in planning terms.

Other matters

- 7.8 The proposed extension would retain an adequate provision of external private amenity space for future occupiers of the site.

8.0 Conclusion

- 8.1 Officers consider that while the proposed extension would fail to comply with elements of Council policy in terms of depth, due to the low profile of the extension 2.9m to 2.7m in height, together with the existing boundary fence and substantial vegetation, the proposed development would have no impact on character and appearance and negligible impact on neighbouring amenity.

9.0 Recommendation

That, planning permission be **GRANTED** subject to conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans:

Existing and proposed plan; and side and rear elevation

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The external finishing materials shall match those used in the construction of the existing building and/or areas of hard surfacing.

Reason: To ensure a satisfactory appearance.

Site Photos





Notes :

All dimensions must be checked on site. The contractor shall be responsible for taking all necessary site dimensions and levels and for all exploratory works to verify any existing structure before commencement of works.

The contractor will be responsible for the correct setting out of the work on site. Any given dimensions is for the contractor's guidance only and should be verified on site.

No liability of any kind is accepted by the engineer for any error or omission. Where new work is near/ on boundary/ line/ party wall the property owner is to serve party wall notice to the adjoining property/land owner in accordance with the requirements of the ' party wall etc.' Act 1996.

All details to comply with current Building Regulations and Local Authority Approvals. Work not to commence before final approval of plans by L.A.

Drawings prepared from plans & information supplied by architect - no site survey carried out by engineer.

Hilal Koztepe

3 Dryden Road, Enfield, London EN1 2PR.

hkoztepe@hotmail.co.uk
07895920747

Project:
47 Russel Road, London, EN1 4TN

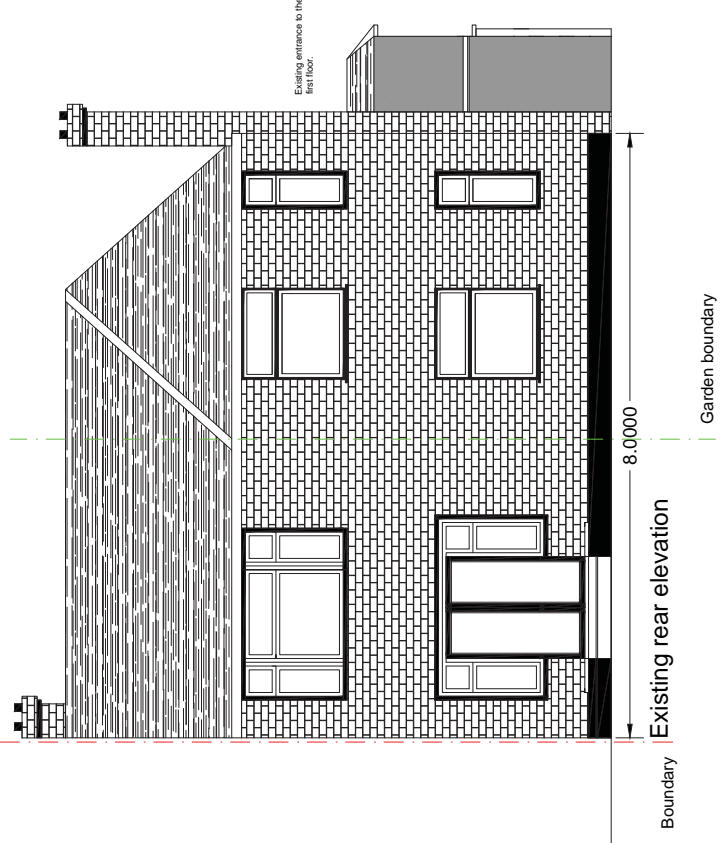
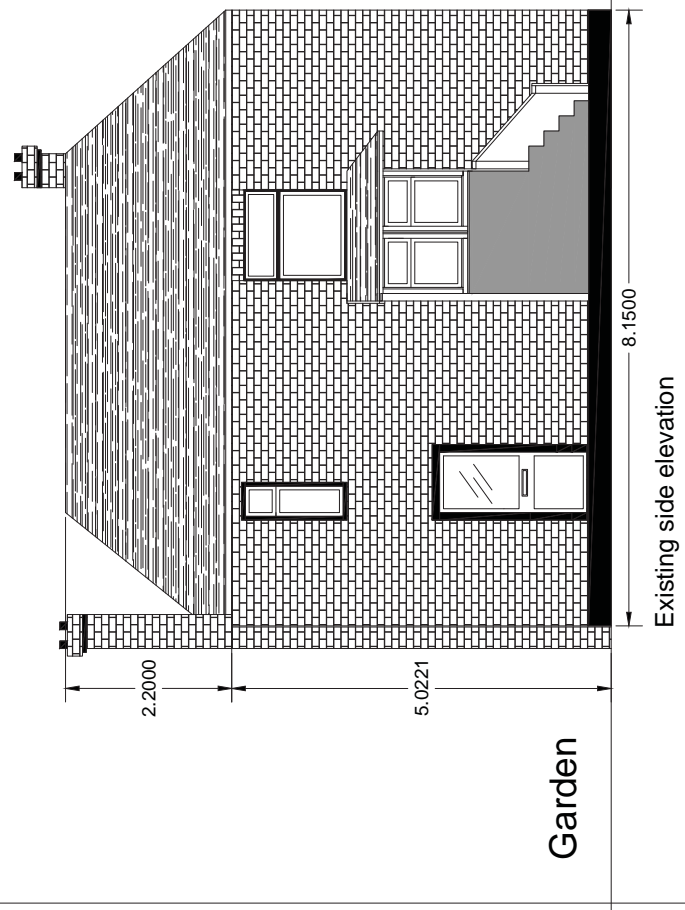
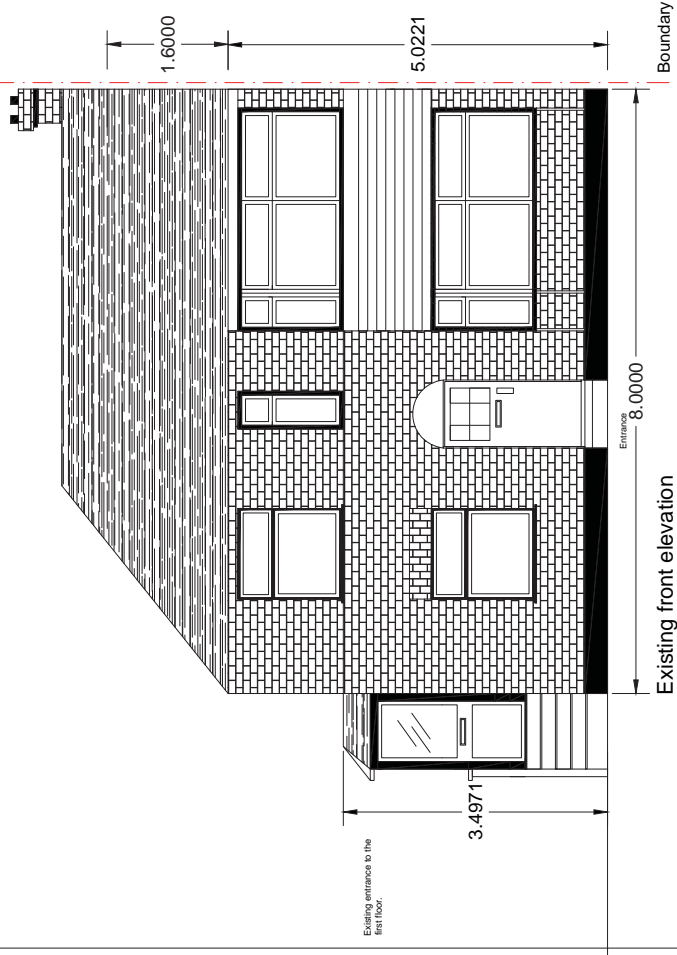
Drawing:
Showing the current front of house with rear and side elevation.

Title:
Existing facade and elevations.

Scale:
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Checked:

Date:
21 - 02 - 19



Boundary

Notes :

All dimensions must be checked on site. The contractor shall be responsible for taking all necessary site dimensions and levels and for all exploratory works to verify any existing structure before commencement of works.

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Drawings prepared from plans & information supplied by architect - nox site survey carried out by engineer.

Hilal Koztepe
3 Dryden Road, Enfield, London EN1 2PR.

hkoztepe@hotmail.co.uk
07895920747

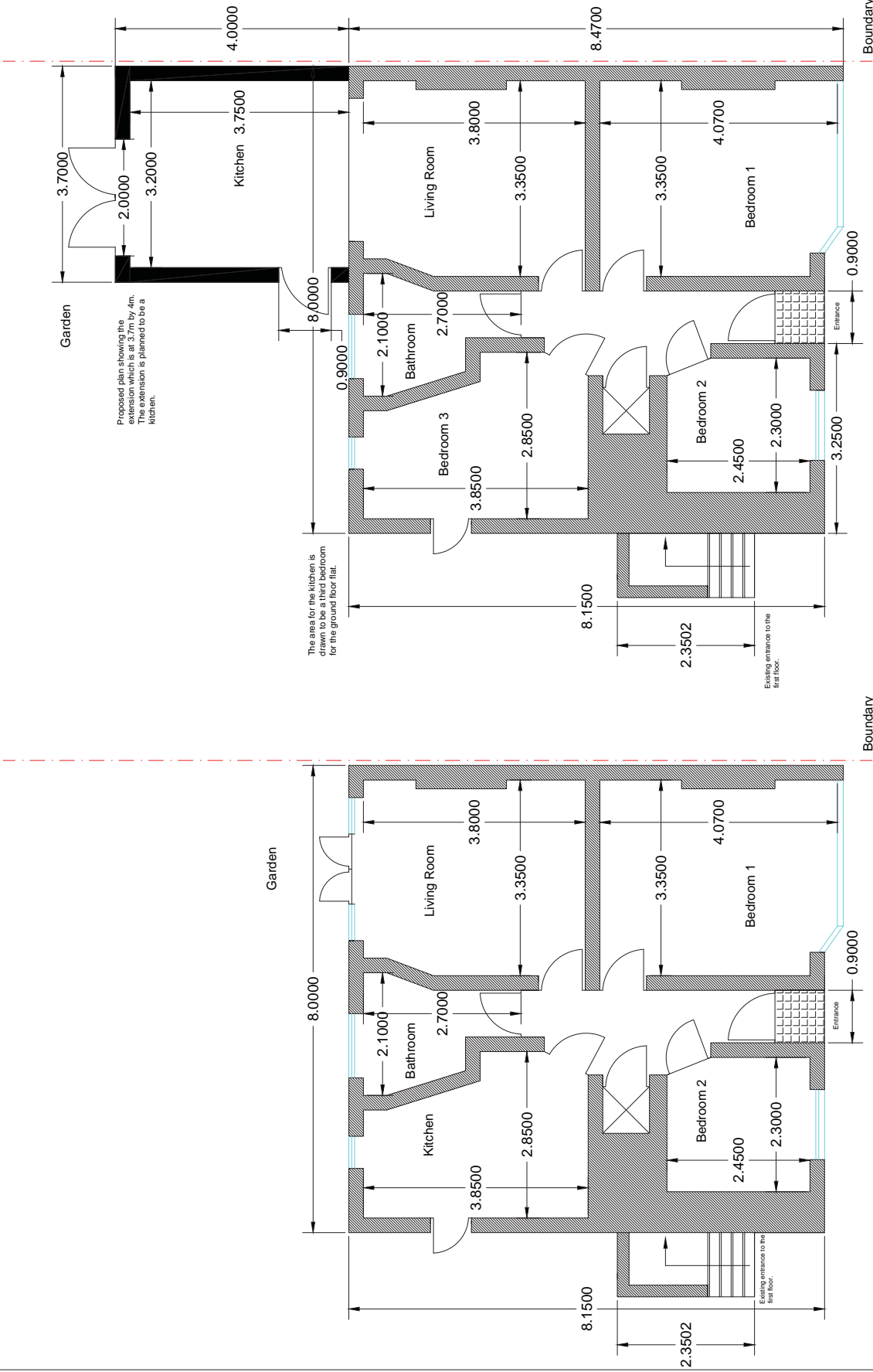
Project:
47 Russel Road, London, EN1 4TN

Drawing:
showing existing plan and the proposed extension drawing.

Title:
Existing and proposed plan. .

Scale:
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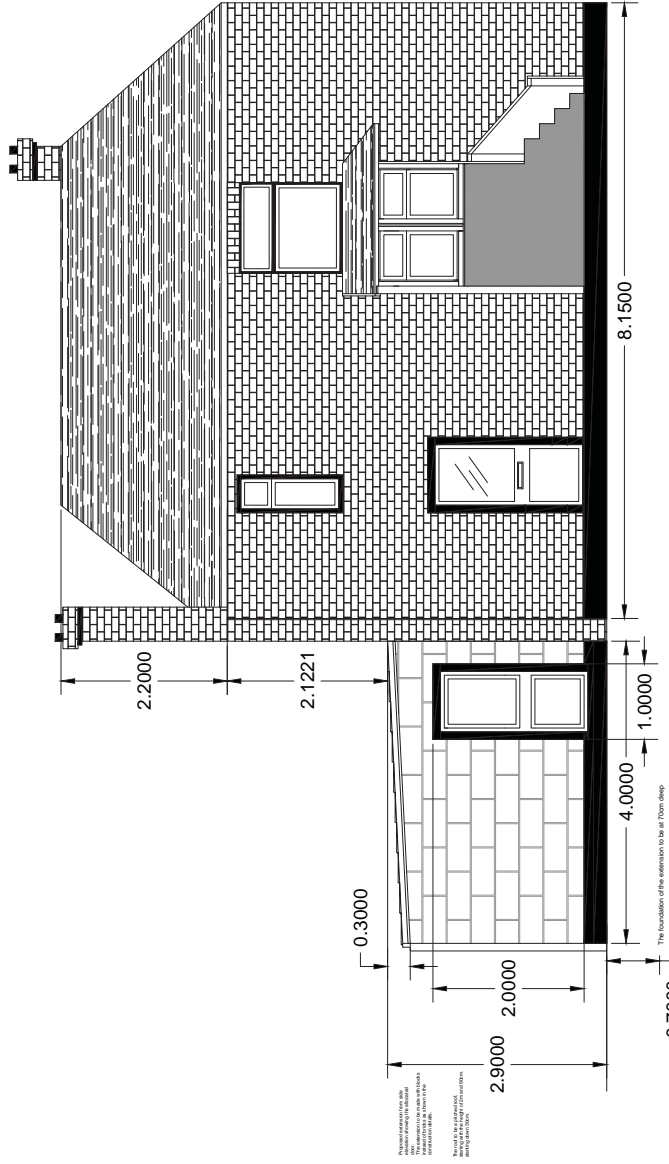
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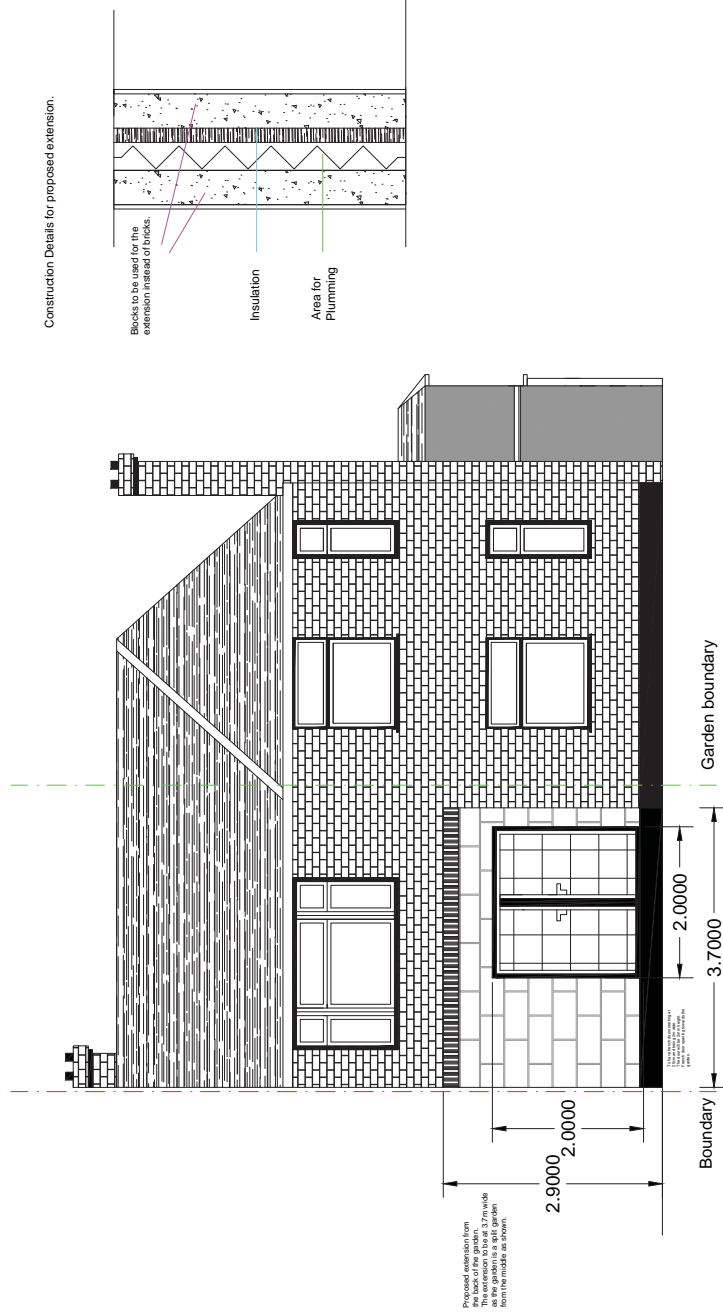
Proposed Plan
(With extension plan)

Ground Floor
(as existing)

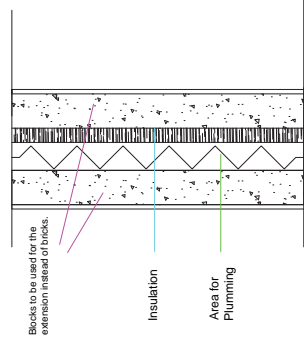
Side elevation with proposed extension.



Rear elevation with proposed extension.



Construction Details for proposed extension.



Notes :

All dimensions must be checked on site. The contractor shall be responsible for taking all necessary site dimensions and levels and for all exploratory works to verify any existing structure before commencement of works.

The contractor will be responsible for the correct setting out of the work on site. Any given dimensions is for the contractor's guidance only and should be verified on site.

No liability of any kind is accepted by the engineer for any error or omission. Where new work is near/ on boundary/ line/ party wall the property owner is to serve party wall notice to the adjoining property/land owner in accordance with the requirements of the ' party wall etc.' Act 1996.

All details to comply with current Building Regulations and Local Authority Approvals. Work not to commence before final approval of plans by L.A.

Drawings prepared from plans & information supplied by architect - no site survey carried out by engineer.

Hilal Koztepe
3 Dryden Road, Enfield, London EN1 2PR.
hkoztepe@hotmail.co.uk
07895920747

Project:
47 Russel Road, London, EN1 4TN

Drawing:
showing the proposed extension through side and rear elevation. Also stating information for foundations and wall construction details.

Title:
Proposed extension through rear and side elevation.

Scale: 1:50 @ A2
Checked:
Date: 21 - 02 - 19

Notes :

All dimensions must be checked on site. The contractor shall be responsible for taking all necessary site dimensions and levels and for all exploratory works to verify any existing structure before commencement of works.

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Hilal Koztepe
 3 Dryden Road, Enfield, London EN1 2PR.
 hkoztepe@hotmail.co.uk
 07895920747

Project:
 47 Russel Road, London, EN1 4TN

Drawing:
 Showing the existing roof plan with the top view of the proposed extension. .

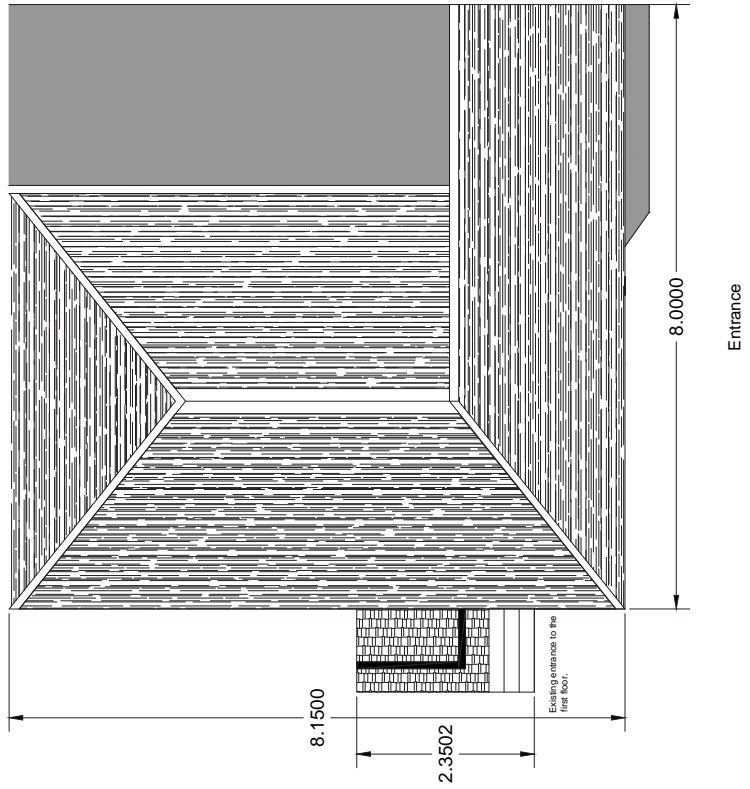
Title:
 Existing and proposed roof plan.

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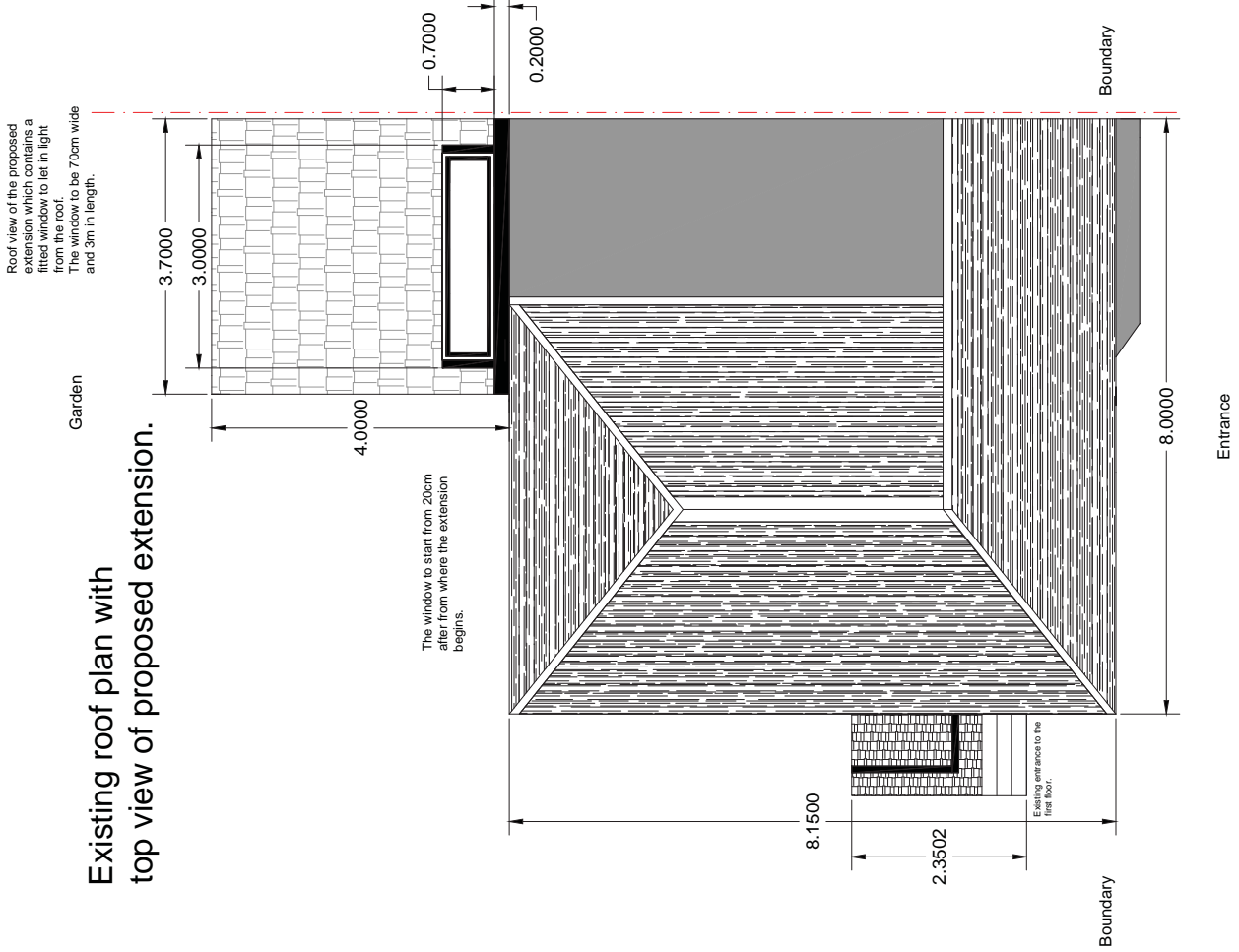
Checked:

Date:
 21 - 02 - 19

Existing roof plan



Existing roof plan with top view of proposed extension.



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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 23rd April 2019

Report of
Assistant Director, Planning,
Highways & Transportation

Contact Officer:
Andy Higham
David Gittens
James Clark

Ward:
Highlands

Ref: 18/01539/FUL

Category: Full Application

LOCATION: 70A and 72 The Ridgeway, Enfield, EN2 8JB

PROPOSAL: Demolition of existing buildings and redevelopment to provide a total of 9 self-contained flats (6 x 2-bed, 3 x 3-bed) within a 2-storey building including accommodation in roof space, creation of a new vehicular access and associated car parking and landscaping on site.

Applicant Name & Address:

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Agent Name & Address:

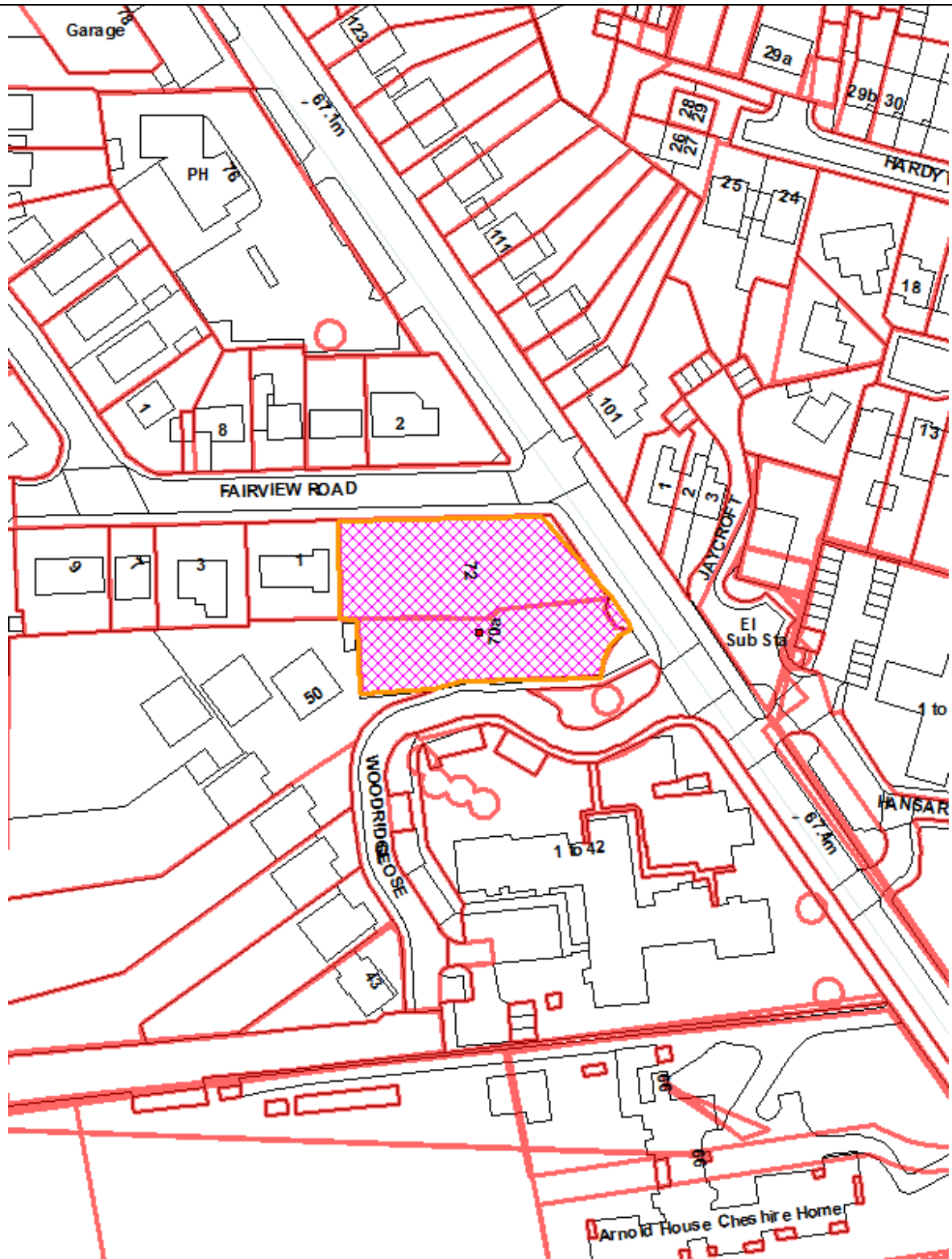
Mr Alfie Yeatman
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RECOMMENDATION: That subject to the completion of a S106 Agreement to secure the obligations as set out in Section 7.54 of this report, the Head of Development Management /the Planning Decisions Manager be authorised to **GRANT** planning permission subject to the conditions.

Note for Members:

Any other application or issue which, by reason of its scale, impact upon the environment, or the level of public or likely Councillor interest, should, in the opinion of the Assistant Director (Regeneration & Planning), be determined by the Committee.

Ref: 18/01539/FUL LOCATION: 70A And 72 The Ridgeway, Enfield, EN2 8JB,



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Scale 1:1250

North



1.0 Executive Summary

- 1.1 The proposed planning application is referred to Planning committee under the adopted Enfield scheme of delegation (adopted 17th October 2017) as per exceptions to the delegated authority under Appendix 1, part 11 as per below,

“Any other application or issue which, by reason of its scale, impact upon the environment, or the level of public or likely Councillor interest, should, in the opinion of the Assistant Director (Regeneration & Planning), be determined by the Committee”.

- 1.2 The proposed development creates nine (9) residential units (formed of (5 x 2 bed, 4 x 3 bed) representing 1250m² of new habitable floorspace meeting the threshold of a major application and under the legislative criteria in the DMPO published in 2015 the Major development and shall be considered at Planning committee.
- 1.3 The proposed development is subject to a s106 legal agreement pertaining to the provision of off-site affordable housing financial contributions (please see section 7.54 of the report). The development shall be subject to planning conditions both pre-commencement and pre-occupation and is considered policy compliant and is recommended for planning approval subject to a s106 legal agreement and planning conditions.

2.0 Site and Surroundings

- 2.1 The site is located on the eastern side of The Ridgeway approximately mid-way along the road. The southern part of the Ridgeway feeds in the developed area of Enfield and is characterised by a mix of detached, semi-detached dwellings and flatted developments. The Ridgeway is made up of a variety of architectural designs. The application site itself is defined by two large detached dwellings, located on generous plots of land. The Ridgeway is classified as an ‘A’ road connecting Enfield with the M25. 70A The Ridgeway benefits from an access into the site off The Ridgeway, where as No 72 The Ridgeway benefits from an access off of Fairview Road which leads off The Ridgeway.
- 2.2 The site once benefited from a tree covered by a Tree Preservation Order (TPO). This tree was felled in 2011, with the agreement of the Tree Officer at the Local

Planning Authority (LPA). There are now no trees on the site covered by a TPO. The site area equates to 00.19 hectares.

- 2.3 The site is not within a Conservation Area nor are the two buildings defined as Listed Buildings. The site has a PTAL Level of 1b representing very poor access to public Transport. Permit parking is in operation on the adjacent road Fairview and The Ridgeway itself has double yellow lines preventing parking.

3.0 Proposal

- 3.1 The proposal seeks planning permission to demolish the two existing two storey detached dwellinghouses on the site and erection of a two storey building with habitable floorspace in the roof. The proposed new building would have a footprint of approximately 502m² forming an “L” shape with the base of the “L” projecting along the southern boundary forward of the principal elevation towards The Ridgeway. The proposal would incorporate eleven (11) gable fronted roof dormers and five rooflights spread across the sloping roof scape and a further ten (10) rooflights on a small crown roof.
- 3.2 The redevelopment of the site would be formed of Nine (9) self-contained flats (5 x 2 bed, 4 x 3 bed). The existing crossover from Fairview Road would be retained and an additional crossover would be created further along Fairview Road. The existing entrance to The Ridgeway would be closed and the provision of twelve (12) formalised parking spaces would be created along the western boundary with The Ridgeway. The site would be landscaped with a number of trees retained and areas sectioned off to create gardens assigned to certain ground floor units. Refuse and secure cycle storage facilities would be located at the rear of the site accessed via the new crossover to the site from Fairview Road.
- 3.3 Changes to the original scheme included:
- Landscape changes to a segregate and assign private amenity space to ground floor units
 - Reduction in the parking provision from 18 spaces to 12 spaces
 - Improved communal amenity space to the rear
 - Re-positioning of ground floor windows
 - Re-location of cycle storage
- 3.4 Further information is provided latter in the report pertaining to the amendments agreed on site.

4.0 Relevant Planning History

Application site

- 4.1 Reference - 17/01298/FUL
Development description - Demolition of existing buildings and redevelopment to provide a total of 9 self-contained flats (6 x 2-bed, 3 x 3-bed) within a 2-storey building including accommodation in roof space, with existing and new vehicular access, car parking and landscaping.
Decision Level – Delegated. Refused
Decision Date – 19/05/2017
- 4.2 Reference - 16/01782/FUL
Development description - Redevelopment of site and erection of a 2-storey block of flats with rooms in roof space comprising 6 x 2 bed, 3 x 3 bed involving front, side and rear dormers, private terraces, new access from Fairview Road and car parking.
Decision Level – Delegated. Refused and APPEALLED
Decision Date – 26/07/2016
Appeal Status – Appeal dismissed under reference: APP/Q5300/W/16/3163001 (Dated 21/07/2018)
- 4.3 Reference - 15/04333/FUL
Development Description - Redevelopment of site and erection of a 2-storey block of flats comprising 4 x 2 bed, 4 x 3 bed involving front and rear dormers, private terraces and patio areas to front and rear, new access from Fairview Road and car parking.
Decision Level – Delegated. Refused and APPEALLED
Decision Date – 04/12/2015
Appeal Status – Appeal dismissed under reference: APP/Q5300/W/16/3147619
- 4.4 Reference - TP/89/1202
Development description - Erection of 2m high boundary wall to garden of existing dwelling abutting Woodridge Close.
Decision level – Delegated
Decision date – 23/11/1989

Enforcement History

- 4.5 No enforcement history exists on site

5.0 Consultation

- 5.1 *Neighbours:* 77 surrounding properties (21 days expired 22nd May 2018) were notified by letter on the 1st May 2018. Following revisions to the proposed landscape layout and floor plans, neighbours were re-notified by letter on the 8th of October. At the time of writing the report, three objects were received by the Council which are summarised below,

- Close to adjoining properties
- Development too high
- Inadequate parking provision
- Information missing form plans
- Loss of Parking
- Loss of privacy
- More open space needed on development
- Noise nuisance
- Not enough info given on application
- Strain on existing services
- Contradictory Reports

Officer Comments

- 5.2 The supporting documents were produced prior to the revised landscaping and ground floor plans, therefore some of the assessment is not succinct, nevertheless the documents remain pertinent. The concerns raised by neighbouring properties shall be covered in the report however the principle concerns are related to parking and privacy issues.

- 5.3 Statutory and Non-Statutory Consultees:

Internal Consultations:

- 5.3.1 Transportation & Transport – The provision of parking spaces and secure cycle storage is acceptable (refer to the transport section for further detailed information). Transport and highways conditions shall be applied. The client will be required to enter in to a s278 agreed as part of the s106 legal agreement to secure the works to the access to the site.
- 5.3.2 Urban design – The siting and massing proposed for the new development is an improvement upon the previous refusals. The massing is suitably set back from the highway. The provision of parking on the frontage has been partially screened by existing natural vegetation and therefore mitigates the impact on the streetscene.
- 5.3.3 SUDs – The inclusion of water gardens on the site is now considered to provide an acceptable level of drainage on the site (please see the drainage section for further information). Conditions shall be applied to the scheme to clarify certain elements of the development.
- 5.3.4 Tree officer – No objections to the loss and re-provision of trees on site subject to a robust landscape condition.
- 5.3.7 Environmental Health – No Objection to the development, pre-commencement planning conditions to be applied to the site to prevent harm.

External Consultations:

- 5.3.8 Thames Water – No response

Officer comments

The consultation responses have directed and facilitated the changes to the development and applicable conditions have been added to secure policy compliant development.

6.0 Relevant Planning Policies

6.1 London Plan (2016)

- 3.3 Increasing housing supply

- 3.4 Optimising Housing potential
- 3.5 Quality and design of housing developments
- 3.9 Mixed and Balanced Communities
- 3.11 Affordable housing targets
- 3.12 Negotiating affordable housing on individual private residential and mixed use schemes
- 3.14 Existing Housing Stock
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 5.7 Renewable energy
- 5.13 Sustainable Drainage
- 5.14 Water Quality and Wastewater Infrastructure
- 5.15 Water Use and Supplies
- 5.16 Waste Self Sufficiency
- 6.9 Cycling
- 6.10 Walking
- 6.13 Parking
- 7.1 Lifetime Neighbourhoods
- 7.3 Designing out Crime
- 7.4 Local Character
- 7.6 Architecture
- 7.19 Biodiversity and access to nature
- 7.21 Trees and Woodland
- 8.2 Planning Obligations
- 8.3 Community Infrastructure Levy

6.2 Core Strategy (2010)

- CP2: Housing supply and locations for new homes
- CP3: Affordable housing
- CP4: Housing quality
- CP5: Housing types
- CP20: Sustainable energy use and energy infrastructure
- CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
- CP22: Delivering sustainable waste management
- CP25: Pedestrians and cyclists
- CP30: Maintaining and improving the quality of the built and open environment
- CP32: Pollution

CP46: Infrastructure contributions

6.3 Development Management Document (2014)

DMD2: Affordable Housing for Development of Less than 10 units
DMD3: Providing a Mix of Different Sized Homes
DMD5: Residential Conversions
DMD6: Residential Character
DMD7: Development of Garden Land
DMD8: General Standards for New Residential Development
DMD9: Amenity Space
DMD10: Distancing
DMD11: Rear Extensions
DMD14: Side Extensions
DMD37: Achieving High Quality and Design-Led Development
DMD45: Parking Standards
DMD46: Vehicle Crossovers and Dropped Kerbs
DMD49: Sustainable Design and Construction Statements
DMD51: Energy Efficiency Standards
DMD58: Water Efficiency
DMD61: Managing Surface Water
DMD68: Noise
DMD81: Landscaping
DMD Appendix 7 - London Plan parking and Cycle standards
DMD Appendix 8 - Parking standards (parking dimensions)
DMD Appendix 9 - Road classifications

6.4 Other Policy

National Planning Policy Framework (2019)
National Planning Practice Guidance
Mayor of London Housing SPG (March 2016)
LBE S106 SPD (November 2016)
Enfield Strategic Housing Market Assessment Update (2015)
Community Infrastructure Levy Regulations 2010

7.0 Analysis

- 7.1 This report sets out the analysis of the issues that arise from the proposal assessed against National, Regional and adopted strategic and local planning policies. The originally submitted plans have been amended and modified as per below,

Amendments to original plans

- 7.2 Following discussions between the applicant and the Council the following amendments have been submitted and considered within the scope of the originally submitted planning application and the Council has re-notified neighbouring properties for further comment.

- On-site car parking spaces have been reduced from 18 to 12 spaces. The parking is now located solely on the frontage of the site
- Formalised covered, secure, lockable and accessible cycle storage has been located to the rear of the site
- The garden area within the site has been separated to provide private amenity space for the ground floor units and a formalised space has been located to the rear of the site
- Modest internal layout and external changes have been undertaken to Flat 1 on the ground floor.

The proposed changes are considered to improve the appearance and quality of the accommodation.

- 7.3 The main issues are considered as follows:

- Background history on site
- Principle of development
- Density of Development
- Design and appearance
- Dwelling Mix
- Standard of accommodation
- Impact on neighbouring amenity
- Traffic and transport implications
- Sustainable design and construction
- Viability - Affordable housing provision

Background history on site:

7.4 The previous planning application (regd no 17/01298/FUL) for a similar form of development (*Demolition of existing buildings and redevelopment to provide a total of 9 self-contained flats (6 x 2-bed, 3 x 3-bed) within a 2-storey building including accommodation in roof space, with existing and new vehicular access, car parking and landscaping*) refused the application on the following four (4) grounds:

- The proposed redevelopment of the site by virtue of the proposed siting, degree of site coverage, proximity to boundaries, its excessive bulk and massing, its relationship to the prevailing form of development in the surrounding area and the expanse of car parking exposed from Fairview Road and The Ridgeway would represent an overdevelopment of the site and result in the creation of an overly dominant, cramped, obtrusive, incongruous and discordant form of development that is out of character and keeping with the surrounding pattern of development. This concern is exacerbated by the forward siting of the building resulting in the loss of established planting on the street frontage and the inability to be able to compensate for that loss. This is contrary to Policies CP5 and CP30 of the Core Strategy, Policies DMD6, DMD8, DMD10, DMD37 & DMD38 of the Development Management Document, London Plan Policies 3.4, 7.4 & 7.6 and the NPPF.
- The proposed design flattened scheme in terms of its elevations and roofscape, by virtue of its insensitive design, its poorly designed roof scape, bulk, excessive size, mass and scale, would result in a bulky, overly dominant, obtrusive and overbearing cramped form of development, resulting in harm to the character and appearance of the visual catchment area within a prominent location in the street scene. The proposal would be contrary to the NPPF (2012), policies 7.4 and 7.6 of the London Plan, CP30 of the Core Strategy as well as Policies DMD 8 and 37 of the Development Management Document and the NPPF.
- The application fails to provide a mechanism for securing contributions towards affordable housing and associated monitoring fees. The proposal is therefore contrary to Policies 3.10, 3.11, 3.12 and 3.13 of the London Plan, Core Policies 3 and 8 of the Enfield Core Strategy, Policy DMD2 of the Development Management Document, the associated S106 Supplementary Planning Document, NPPF and NPPG.

- The proposed development as a result of the poor levels of outlook to flat 1 and flat 3, due to the closeness of the flanking boundary line with Woodridge Close and the proximity to the car parking area respectively would result in substandard from of living accommodation. This is considered to be contrary to policies DMD 8 of the Development Management Document, Policies CP4 and CP30 of the Core Strategy and Policy 3.5 of the London Plan as well as guidance outlined in the London Housing SPG.

7.5 The site has previously been refused and dismissed at Appeal on two occasions. The current proposed scheme differs significantly from the previous schemes and the reasons for refusal have been addressed. The previously refused (Ref 17/01298/FUL) site plan is illustrated below,



Principle of Development

7.6 The proposed development of the site would result in the demolition of two large detached dwellinghouses, No 72 and 70a, both set back from The Ridgeway and both facing the highway with access to No 70a via a crossover off The Ridgeway and No 72 Accessed from Fairview Road. The loss of the two dwelling houses would be replaced with nine (9) flats formed of 6 x 2-bed, 3 x 3-bed, equating to a 66% to 33% split. The principle of new residential development on the site is acceptable meeting the strategic housing needs of Greater London and increasing the housing stock of the Borough in accordance with the National

Planning Policy Framework (NPPF) and the Policy CP5 of the Enfield Core Strategy (2010). However, the development must also be judged on its own merits and assessed in relation to material considerations including the impact on the character of the area and the attainment of appropriate scale, design, amenity space, parking provision, residential amenity and privacy, to achieve a development that integrates appropriately into their surroundings.

- 7.7 The loss of two large dwelling houses while not technically considered a conversion due to the significant and comprehensive scope of demolition on the site, consideration and assessment against Policy DMD 5 (residential conversions) is pertinent. The Ridgeway has witnessed significant historic development and the progressive loss of larger dwellings in favour of flatted redevelopment or conversions. The immediate location is typified by dwellinghouses on the opposite side of the road leading northward and to the west, the majority of which are formed of flatted developments. In this instance the redevelopment and conversion of the site to a flatted development is considered acceptable in principle. The character of The Ridgeway would be able to sustain such a form of redevelopment and it is noted that the previous refusals on the site did not object to the principle of redevelopment for flats.

Dwelling Mix

- 7.8 Policy 3.8 of the London Plan 2016 and Policy CP5 of the Core Strategy (2010) seeks to ensure that new developments offer a range of housing sizes to meet housing needs. The proposal would be in accordance with these policies in addition to Policy 3.3 of the London Plan and Policy CP2 of the Core Strategy, insofar as it would maintain the Borough's housing stock.
- 7.9 The proposed scheme moves towards the requirements of Policy CP5 of the Core Strategy 2010 that expects major developments to provide family sized units in line with the needs identified by the SHMA (Strategic Housing Market Assessment). In this instance the high quality of residential accommodation including residential units in many cases 40% above the minimum floorspace requirements and good communal amenity space. In this context, the proposed

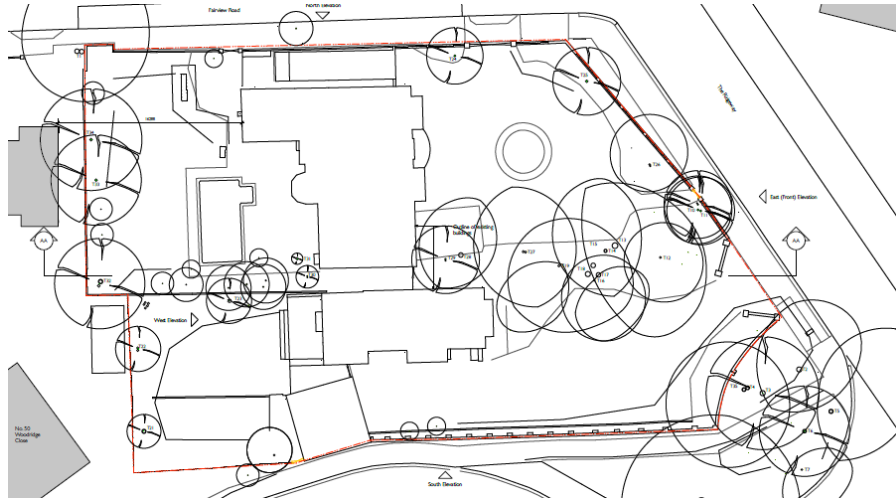
mix is considered to be acceptable and results in a net uplift of three bedroom units above what is currently on site.

Impact on Appearance & Character of the Area

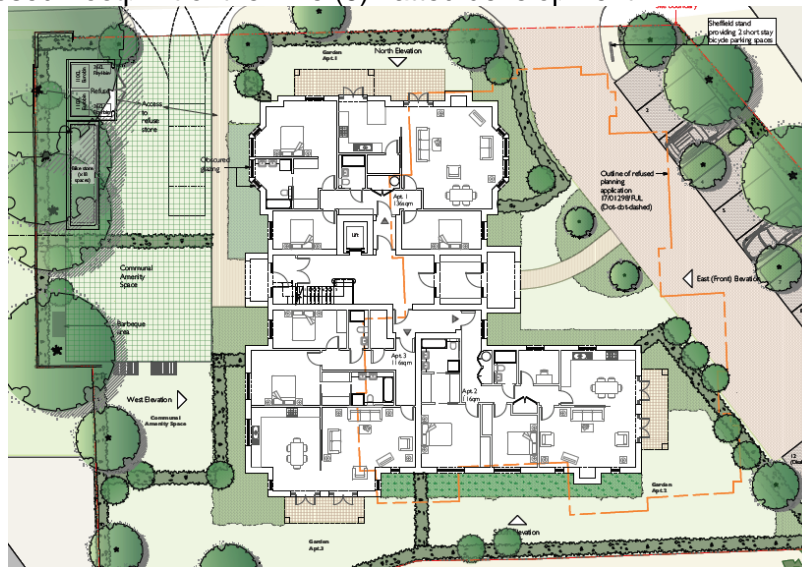
- 7.10 The building would largely respect the existing footprint and siting of the existing two dwellinghouses on site, albeit, projecting to a greater extent to the rear of the site. The proposed “L” shape would include a projecting wing on its southern elevation facing towards The Ridgeway forming the base of the “L” shape. The building would have a crown roof and include eleven (11) pitch roof dormers and fifteen (15) roof lights, ten (10) of which are located on the crown roof element. The dormers are appropriately located on the roof slope and do not appear excessive within the roof form.
- 7.11 The proposed elevations would have a mix of bay window and balcony features complementing the roof forms and reflecting the general character of features on other properties along The Ridgeway. The proposed fenestration is symmetrical along the elevations creating a balanced appearance with a mix of 2/3 panel window formations and larger 2/4 and 2/5 windows and doors.
- 7.12 Parking would be located on the front of the site adjacent The Ridgeway partially screened by trees and landscaping. Twelve (12) car parking spaces would be provided on the frontage accessed by the retained crossover from Fairview Road. The existing crossover access to assigned to No 70a The Ridgeway shall be removed and a strong boundary frontage created. Parking on the frontage of sites along “The Ridgeline” is a prevailing character feature and evident on surrounding sites including the application site. While the use of prominent land for parking on sites should be avoided the use of landscaping (to be conditioned) and existing pattern of parking at the front is considered acceptable within the site context.
- 7.13 A new crossover is proposed to the rear of the site to permit access for refuse trucks and to service the cycle parking provision. The rear of the site shall be landscaped and segregated to create private garden and a communal garden element. The siting of the proposed building permits sufficient space around the perimeter of the building preventing the appearance of excessive development. location shall be

7.14 The design, scale, landscaping and siting of the building would not be out keeping within the location. The scale of development would not result in an unreasonable intensification of development on the site and considered to optimise the site to its greatest extent without detrimentally overdeveloping the built form or harming the surrounding character.

Existing footprint of No 72/70a



Proposed Footprint of the nine (9) flatted development



Standard of Accommodation

- 7.15 Policy 3.5 of the London Plan 2016 and Policies DMD 5 and DMD 8 of the Enfield Development Management Document (2014) set minimum internal space standards for residential development. The Nationally Described Internal Space Standard applies to all residential developments within the Borough and the London Plan Housing SPG adopted in 2016 has been updated to reflect the Nationally Described Space Standards.
- 7.16 In partnership with the minimum floorspace requirements, new development is expected to provide well-designed, flexible and functional layouts with adequately sized rooms, 2.5m floor-to-ceiling heights, and 20% glazing to all habitable rooms in accordance with the Mayor's Supplementary Housing Guidance.

Table of individual flats proposed floorspace

Flat No	Bed/person	Required Floorspace (m ²)	Provided Floorspace (m ²)
Flat 1	3 Bed/5 Person	86m ²	136m ²
Flat 2	2 Bed/4 Person	70m ²	116m ²
Flat 3	2 Bed/4 Person	70m ²	116m ²
Flat 4	2 Bed/3 Person	61m ²	76m ²
Flat 5	2 Bed/4 Person	70m ²	90m ²
Flat 6	3 Bed/5 Person	86m ²	113m ²
Flat 7	2 Bed/4 Person	70m ²	100m ²
Flat 8	3 Bed/6 Person	95m ²	136m ²
Flat 9	3 Bed/6person	95m ²	144m ²

- 7.17 The internal floorspace of each dwelling unit would considerably exceed the minimum National internal floorspace standards and all habitable rooms within the proposed flats would have adequate outlook, provision of natural light and good levels of privacy.
- 7.18 Each proposed unit would have private amenity space and access to communal space at ground floor. Policy DMD 9 (Amenity space) provides the Council's external amenity space standards. The standards below are for dwelling units with access to communal amenity space.

Flat No	Bed/person	Required Floorspace (m ²)	Provided Floorspace (m ²)
Flat 1	3 Bed/5 Person	8m ²	40m ² (Approx)
Flat 2	2 Bed/4 Person	7m ²	50m ² (Approx)
Flat 3	2 Bed/4 Person	7m ²	50m ² (Approx)
Flat 4	2 Bed/3 Person	6m ²	8m ²
Flat 5	2 Bed/4 Person	7m ²	8m ²
Flat 6	3 Bed/5 Person	8m ²	8m ²
Flat 7	2 Bed/4 Person	7m ²	8m ²
Flat 8	3 Bed/6 Person	9m ²	9m ²
Flat 9	3 Bed/6person	9m ²	9m ²

- 7.19 Considering each flat shall have access to private amenity space and approximately 130m² of landscaped external communal amenity space (located at the rear of the site), the Council is satisfied the provision of amenity space complies with Policy DMD 9. The overall quality of accommodation within the nine (9) units is considered acceptable and complies with Policy 3.5 of the London Plan and Policies DMD 8 and DMD 9 of the Development Management Plan.

Impact on neighbouring amenity

- 7.20 Policy 7.6 of the London Plan states that developments should have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity. Policy CP30 of the Enfield Core Strategy seeks to ensure that new developments are high quality and design-led, having regards to their context. They should help to deliver Core Strategy policy CP9 in supporting community cohesion by promoting attractive, safe, accessible and inclusive neighbourhoods. Policy DMD8 states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance.
- 7.21 The proposed nine (9) flatted residential unit development would result in the footprint of the building projecting to the rear thereby resulting in a closer proximity to No 50 Woodridge Close and No 1 Fairview Road. The proposed site is set back from The Ridgeway and the north facing flank would be of similar distance to No 2 Fairview Road on the opposite side of street to the current location of No 72 The Ridgeway.

Impact on No 1 Fairview Road

- 7.22 No 1 Fairview is located directly to the west of the development site and is orientated to a right angle to the development site resulting in its flank elevation (eastward) facing the rear elevation of the development. The Council acknowledges a first floor side window is located on the flank elevation of No 1 Fairview facing towards the rear elevation of the proposed development. Nevertheless, the window in question is a secondary window and there is a separation distance of approximately 15m between the rear windows of the proposed flats and the subject side window in question. Policy DMD 10 (Distancing) provides the Council's distance approaches between residential units. It states a minimum distance between windows and side boundaries should

be 11m, therefore the proposed relationship between the development and No 1 Fairview would be acceptable.

- 7.23 The proposed footprint and siting of the development would result in the massing of the development projecting further to the rear than the existing footprint of the dwellinghouses No 72 and 70a, however the cumulative overlooking of the rear garden of No 1 Fairview Road would not result in unreasonable harm to existing occupiers of No 1 Fairview Road, and would be in accordance with the distance requirements of policy DMD 10.

Impact on No 50 Woodridge Close

- 7.24 No 50 Woodridge Close is located to the south-west corner of the development site approximately 18m from the proposed south-west corner of the two storey building proposed. The rear elevation of No 50 Woodridge Close is north-east facing however the proposed units on the south-west corner of the development would have windows facing directly west or directly south, therefore the orientation and relationship between the two buildings would result in no direct views between habitable windows.

- 7.25 No balconies or terraces are proposed on the southwest area of the development, further mitigating the potential impact to the privacy levels of occupiers of No 50 Woodridge Close. It is noted No 50 Woodridge Close is a single storey building with habitable floorspace in the roof served by roof lights. The combination of the angle of view from the proposed windows on the flatted development and distance between elevations is adequate to prevent harm to neighbouring amenity in accordance with Policy DMD 8 and DMD 10 of the Development Management Document (2014)

Impact on No 2 Fairview Road

- 7.26 No 2 Fairview Road is located on the north side of Fairview Road on the opposite side of the road to the development site. The proposed footprint of the development would move rearward however the extent of projection would not constitute unreasonable loss of light or result in the loss of privacy to the principal elevational windows on No 2 Fairview Road.

Vehicle Parking & Cycle provision

- 7.27 Policy 6.3 of the London Plan confirms that the impact of development proposals

on transport capacity and the transport network are fully assessed. The proposal must comply with policies cycling (Policy 6.9), walking (Policy 6.10), tackling congestion (Policy 6.11) and parking (Policy 6.13). Policies DMD45 & 47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing.

- 7.28 Policy DMD 45 seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.

Car parking proposals will be considered against the standards set out in the London Plan and:

- a. The scale and nature of the development*
- b. The public transport accessibility (PTAL) of the site;*
- c. Existing parking pressures in the locality;*
- d. Accessibility to local amenities, and the needs of the future occupants of the developments.*

- 7.29 The applicant has provided a Parking Statement, to assess the existing on-street parking in the area and surroundings site of the chase Farm Parking controlled Zone (CPZ) via parking surveys undertaken at various times of the day. The report concludes, *“the results of this assessment show that vehicle parking associated with the proposed residential use can be adequately accommodated on the site and within on-street parking areas with minimal impact to the local streets”*.

- 7.30 The information in the transport statement has been superceded by the changes and alterations on the site, principally the reduction in on-site car parking from 18 spaces to 12 spaces (please see para 4.9).

- 7.31 The site has a PTAL level of 1B considered to represent poor accessibility to public transport. Twelve (12) on-site parking spaces have been provided, two of which meet the dimensions for disabled parking criteria. The proposed breakdown of units to 6 x 2 and 3 x 3 bed units would equate to the requirement for ten and a half (10.5) parking spaces, rounded up to eleven (11) spaces, meeting the London Plan Maximum Parking standards within the parking addendum guidance.

- 7.32 The additional car parking space beyond the eleven (11) required on site would be for visitors and therefore considered acceptable. Fairview Road adjacent the site is part of a CPZ zone and therefore no overflow parking would be available and, should planning permission be granted, a Head of Terms would be added to the s106 legal agreement restricting future occupiers from applying for the Council's on street parking permits. be signed by the applicant. The applicant has provided swept paths to illustrate and prove all spaces would be accessible and useable.
- 7.33 Covered, secure and assessable cycle storage has been located to the rear of the site adjacent the boundary with No 2 Fairview Road. Details of the cycle storage unit have been submitted to the Council and the scale of the storage unit would be capable of accommodating 18 cycles, in addition one Sheffield cycle stand are proposed near the entrance to the site for visitor parking. The cycle provision meets London Plan cycle parking addendum requirements and is therefore acceptable to policy DMD 45.
- 7.34 Policy DMD 46 seeks to ensure that proposals for new vehicular crossovers do not adversely affect traffic flow and road safety, lead to increased pressures on on-street parking or affect the character of the area. No detailed plans have been provided in relation to the proposed new crossover at the rear of the site. Policy DMD 46 (Vehicle crossovers and Dropped kerbs) provides the council's approach to the creation of new crossovers as part of development. The creation of a new crossover in this instance is not considered to have any detrimental impact on the parking capacity in the location. The Council notes that the wider location is characterised by crossovers and therefore an additional crossover would not be out of keeping. No trees would be lost as a result of the proposed crossover and pending a suitable planning condition the crossover is acceptable under the terms of Policy DMD 46.
- 7.35 In line with the London Plan (March 2016), 20% (2.4 spaces) of the total parking spaces should be provided as active electric vehicle (EV) charging points; with a further 20% (2.4 spaces) passive EV charging spaces. This level of provision should be distributed across the whole parking area.

Refuse and Access on site

- 7.36 Secure waste and recycling storage bins are provided externally to the rear of the site. The bin storage is located in close proximity to the proposed new crossover

access on to Fairview Road providing excellent accessibility for refuse operatives. The location of a crossover serving No 2 Fairview Road on the opposite side of the road and the existing width of Fairview Road is sufficient to allow the refuse truck to utilise the proposed crossover and reserve in to the site.

- 7.37 The refuse truck would be able to reserve in to the site on account of the low quantity of traffic on Fairview Road. The proposed layout and management of the site in terms of refuse is considered acceptable, pending a pre-commencement condition providing information regarding the refuse storage units.

Sustainable Drainage

- 7.38 London Plan policies 5.12 and 5.13 require the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 (“Managing flood risk through development”) confirms the Council’s approach to flood risk, inclusive of the requirement for SuDS in all developments Policy DMD 61 (Managing Surface Water) expects a Drainage Strategy will be required for all developments to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan. All developments must maximise the use of and, where possible, retrofit Sustainable Drainage Systems (SuDS) which meet policy requirements.
- 7.39 The applicant has submitted a revised drainage scheme (Prepared EAS, revision Final 4, Dated December 2018) following significant discussions with the Council’s sustainable drainage department. The drainage scheme outlines measure to prevent surface runoff and meet the 1 in 100 year surface water flood risk mitigation measures. Sustainable drainage conditions shall be applied to the site in order to enhance a facilitate the content of the revised drainage scheme document.

Trees & Landscaping

- 7.40 The submitted Arboricultural Method Statement (prepared by David Archer Associates, Dated March 2018) has been reviewed by the Council’s tree officer and considers the removal of the tress to be acceptable and the trees to be removed are of poor quality.

- 7.41 The proposed development site includes extensive landscaping in partnership with the trees and biodiversity report would be conditioned as part of the planning approval. The proposed landscape Plan (Ref 1245-PL018 Rev C, Dated Aug 2018) includes a number of trees that shall be removed as part the development as stipulated in the arboricultural impact assessment (AIA). In order to deal effectively with the loss and retention of trees on the site, a robust landscape plan shall be conditioned on the site to provide high quality replacement trees on the site prior to occupation. The landscape plan shall include but, not be limited to surface materials, plant and vegetation species, soft boundaries, form of enclosure and communal furniture within the site.

Ecology

- 7.42 The applicant has provided a Preliminary Ecology appraisal (dated March 2018, commissioned by David Archer Associates) providing a full assessment of the site and its ecology impacts. There are no perceived ecological constraints preventing the extent of the proposed development, however recommendations are provided in the report post development to encourage bats and roosting birds. A planning condition shall be applied requiring details of ecology improvements to be undertaken.

Energy

- 7.43 Policy 5.2 of the London Plan (2016) expects development proposals to make the fullest contribution to minimising carbon dioxide emission and Enfield Core Strategy Policy CP4 sets a strategic objective to achieve the highest standard of sustainable design and construction throughout the Borough. Policy DMD 50 (Environmental Assessment Methods) required the proposed Development to achieve Code Level 4 (or equivalent rating if this scheme is updated) where it is technically feasible and economically viable to do so. The adopted policies require that new developments achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability. A 35% CO2 reduction over Part L of Building Regulations (2013) is required.
- 7.44 The applicant has provided a sustainable design and construction statement providing information on how the development shall meet policy compliant energy efficiently standards. Appendix 1 of the submitted report illustrates the “possible” location of the solar panels on the roof of the new building. The information submitted is helpful however a final energy report would be required prior to

occupation to determine the final location of the solar panels and clarification the building would meet the 35% CO2 reduction over Part L of Building regulations (2013).

Water:

- 7.45 Policy DMD 58 (water Efficiency) expects New residential development, including new build and conversions, will be required to achieve as a minimum water use of under 105 litres per person per day. The applicant has provided no reports or documents to confirm how the proposed development will implement water efficiency measures to achieve usage of less than or equal to 105 litres/person/day for residential developments and incorporate water saving measures and equipment. Therefore a condition shall be applied to the development site.

Section 106 Agreements

Affordable housing contribution

- 7.46 Chapter 5 (Delivering a sufficient supply of homes) of the updated NPPF (January 2019) expects residential developments to provide a size, type and tenure of housing needed for different groups in the community”, forming a core element of housing provision reflected in planning policies”.
- 7.47 Policy 3.13 (Affordable housing Thresholds) of the adopted London Plan 2016 States Boroughs are encouraged to seek a lower threshold through the LDF process where this can be justified in accordance with guidance, including circumstances where this will enable proposals for larger dwellings in terms of floorspace to make an equitable contribution to affordable housing provision.
- 7.48 Following the Court of Appeal decision on 11 May 2016, policies CP3 of the Core Strategy and Policy DMD 2 of the Development Management Document are now defunct and do not sit within the scope of the National Policy exemptions. As per the London plan policy 3.13 and guidance in the DMPO (2015) which has yet to be formally revised the development site is considered to represent a major development site on account of the 1207m² of new residential floorspace. Policy CP3 of the Enfield Core Strategy 2010 seeks 20% off site affordable provision for housing schemes that provide less than 10 dwellings. This position which is

supported by the affordable housing formula within the Enfield S106 Supplementary Planning Document which states also requires 20% financial contribution on sites that propose the development of 1-10 units which have a combined gross floorspace greater than 1,000 square metres.

- 7.49 The applicant has provided a viability report (prepared by Arebray Development consultancy dated March 2019) to justify the lack of any off-site affordable housing contribution. The viability report was independently assessed by a Doug Birt an experienced commercial surveyor specialising in viability of developments. Doug Birt concluded an off-site affordable housing contribution of £161,730.48 (against a normally expected figure of £ 271,296.22 for these development parameters) was possible, alongside a 5% Council management fee of £12,184.52. The applicant has agreed to this figure in writing on the 22/03/2019 and shall now form part of a s106 legal agreement.

CIL Financial Contribution Payable

- 7.50 The development shall pay the following CIL contributions upon commencement of development.

Mayoral CIL

- 7.51 The Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought for the scheme is calculated on the net increase of gross internal floor area multiplied by the Outer London weight of £60 together with a monthly indexation figure. It is noted as of the 1st of April 2019 Mayoral CIL has increased to £60/m².

- 7.52 Mayoral community infrastructure levy (CIL) is payable, based on the submitted CIL Form, on the basis of 683 sqm of additional gross floor area net of the existing houses, which from 1 April 2019 will be calculated at £60 per sqm:

$$683 \text{ sqm} \times £60 \times 318 / 223 = £ 58,437.85$$

Enfield CIL

- 7.53 On 1 April 2016, the Council introduced its own CIL. The money collected from the levy (Regulation 123 Infrastructure List) will fund rail and causeway infrastructure for Meridian Water.

- 7.54 The Council CIL payment should therefore be as follows based on the estimated net additional gross floorspace in the submitted CIL form:
683 sqm x £120 per sqm = £ 81,960.00
- 7.55 The proposed off-site affordable housing contribution and CIL contribution on-site are in accordance with NPPF guidance, London Plan policy 3.13 and guidance within the adopted Section 106 SPD guidance adopted in (November 2016).

8.0 Conclusion

- 8.1 The development provides nine (9) high quality residential units formed of 6 x 2 and 3 x 3 with generous internal floorspace provision. The siting and massing of the proposed two storey building in tandem with the orientation of the building in relation to the neighbouring context and the location of windows and balconies would not result in harm to neighbouring amenity levels. The on-site Parking provision meets London Plan criteria and future occupiers shall be restricted from receiving parking permits within the CPZ. The landscaping of the site shall be conditioned to improve the appearance of the site and provide excellent external amenity space to future residents of the site. The off-site affordable housing provision shall be secured via a s106 legal agreement and all other aspects of the development are acceptable and shall be secured via pertinent planning conditions.

9.0 Recommendation

That, **PLANNING PERMISSION BE GRANTED** subject to a s106 legal agreement and planning conditions;

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby approved shall only be laid out as 9 self-contained units comprising 6 x 2-bed, 3 x 3-bed as shown on the drawings. There shall be no

deviation from the number, size or mix of units from that approved without the prior approval of the Local Planning Authority.

Reason: Having regard to securing an appropriate mix in the number and size of units and having regard to adopted parking standards.

3. No above ground works shall commence until details of the external finishing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

4. No above ground works shall commence until detailed drawings at a scale of 1:20 detailing the proposed architectural features (including quoins, soldier courses, oriel windows, window frames and window reveals) have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

5. No above ground works shall commence until details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings have been submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure a satisfactory visual appearance and in the interests of highway safety

6. No excavation shall commence until details of existing planting to be retained and trees, shrubs and grass to be planted, and the treatment of any hard surfaced amenity areas have been submitted to and approved in writing by the Local Planning Authority. The site shall be landscaped in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any trees or shrubs which die, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: In the interests of visual amenity and to enhance the ecological value of the site in accordance with DMD 79

7. The site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall be erected in accordance with the approved details before the development is occupied.

Reason: To ensure satisfactory appearance and safeguard the privacy, amenity and safety of adjoining occupiers and the public and in the interests of highway safety.

8. The development, excluding demolition and ground clearance, shall not commence until plans detailing the existing and proposed ground levels including the levels of any proposed buildings, roads and/or hard surfaced areas have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure that levels have regard to the level of surrounding development, gradients and surface water drainage.

9. Prior to the commencement of above ground works, details of the siting and design of refuse storage facilities including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield – Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction target.

10. The parking area forming part of the development shall only be used for the parking of private motor vehicles and shall not be used for any other purpose.

Reason: To ensure that the development complies with Development Plan Policies and to prevent the introduction of activity which would be detrimental to amenity.

11. The development shall not commence until a revised Sustainable Drainage Strategy has been submitted to and approved in writing by the Local Planning

Authority. The details shall be based on the disposal of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework and should be in line with our DMD Policy SuDS Requirements:

- a) Shall be designed to a 1 in 1 and 1 in 100 year storm event with the allowance for climate change
- b) Follow the SuDS management train and London Plan Drainage Hierarchy by providing a number of treatment phases corresponding to their pollution potential
- c) Should maximise opportunities for sustainable development, improve water quality, biodiversity, local amenity and recreation value
- d) The system must be designed to allow for flows that exceed the design capacity to be stored on site or conveyed off-site with minimum impact
- e) Clear ownership, management and maintenance arrangements must be established
- f) The details submitted shall include levels, sizing, cross sections and specifications for all drainage features

Reason: To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy

12. Prior to first occupation of the development approved, a verification report demonstrating that the approved drainage / SuDS measures have been fully implemented shall be submitted to the Local Planning Authority for approval in writing.

Reason: In the interest of managing surface water runoff as close to the source as possible in accordance with adopted policy.

13. The development shall not commence until a construction management plan has been submitted to and approved by the Local Planning Authority. The construction management plan shall be written in accordance with London Best Practice Guidance and contain:

- a. A photographic condition survey of the public roads, footways and verges leading to the site.
- b. Details of construction access and associated traffic management.
- c. Arrangements for the loading, unloading and turning of delivery, construction and service vehicles.

- d. Arrangements for the parking of contractors' vehicles.
- e. Arrangements for wheel cleaning.
- f. Arrangements for the storage of materials.
- g. Hours of work.
- h. The storage and removal of excavation material.
- i. Measures to reduce danger to cyclists.
- j. Dust mitigation measures.
- k. Membership of the Considerate Contractors Scheme

The development shall be carried out in accordance with the approved construction management plan unless otherwise agreed by the Local Planning Authority.

Reason: To ensure construction does not lead to damage of the nearby public road network and to minimise disruption to the neighbouring properties.

14. The development shall not commence until an undertaking to meet with best practice under the Considerate Constructors Scheme and achieve formal certification has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

15. No piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure and piling has the potential to impact on local underground sewerage utility infrastructure.

16. Prior to any development commencing, inclusive of site clearance, details of a Construction Waste Management Plan shall be submitted to the Local Planning

Authority for approval in writing. The Construction Waste Management Plan shall include as a minimum:

- a. Target benchmarks for resource efficiency set in accordance with best practice;
- b. Procedures and commitments to minimize non-hazardous construction waste at design stage. Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste;
- c. Procedures for minimising hazardous waste;
- d. Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works);
- e. Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups; and
- f. No less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19 of the London Plan.

17. Prior to the occupation of the development details for the provision of a communal television systems/satellite dishes have been submitted to and approved in writing by the Local Planning Authority. The development shall only be undertaken in accordance with the approved detail.

Reason: In order to mitigate the possibility of numerous satellite dishes being installed on the buildings hereby approved in the interests of the visual appearance of the development, in particular, and the locality in general.



Notes:
 1. This drawing is based upon drawing number 1245-PL010 - OPT.1 Rev D supplied by Hub Architects and Icen Projects Ltd. shall not be liable for any inaccuracies or deficiencies.

Vehicle Profile:

	7.5t Box Van Overall Length 8.010m Overall Width 2.100m Overall Body Height 3.556m Min Body Ground Clearance 0.351m Track Width 2.564m Lock-to-lock time 4.00s Curb to Curb Turning Radius 7.400m
	Skoda Octavia Overall Length 4.572m Overall Width 1.765m Overall Body Height 1.488m Min Body Ground Clearance 0.249m Max Track Width 1.713m Lock-to-lock time 4.50s Curb to Curb Turning Radius 5.100m



A	13/08/18	Revised Tracking	FA	RB	RA
Rev	Date	Amendments	Drawn	Chk	App

Iceni Projects
 Filcroft House
 114-116 Charing Cross Road
 London, WC2H 0JR
 T 020 3640 8508
 F 020 3435 4228
 mail@iceniprojects.com



Client
 Landvest Developments Limited

Project
 70A and 72 The Ridgeway, Enfield

Title
 Swept Path Analysis
 (7.5t Box Van)

Drawn By	Checked By	Approved By
FA	RB	RA

Scale @ A3	Date
1:250	13/08/2018

Project No.	Drawing No.	Rev.
18-T021	07	A

ICENI Projects accepts no responsibility for any unauthorised amendments to this drawing. All signed alterations are to be marked in red.

THE BIKE STORAGE COMPANY

20 Space Amazon Eco Cycle Shelter – Specification Sheet

A beautifully wood clad cycle shelter, ideal for those seeking green credentials. Made from FSC timber this is an extremely environmentally friendly bike shelter. With a wide range of options to adapt this cycle shelter to your environment this proves to be an extremely popular choice for bike storage across a wide range of applications.

- 2,100mm height
- 8,100mm length
- 2,100mm deep
- Hot dipped galvanised box section outer frame with optional powdercoating service
- Available with galvanised mesh/wood clad sliding & swing gates
- Sides & rear fully clad in FSC certified timber
- Hasp & staple security system (swipe card/ Diglock available upon request)




THE BIKE STORAGE COMPANY

High Security Mesh System – Specification Sheet

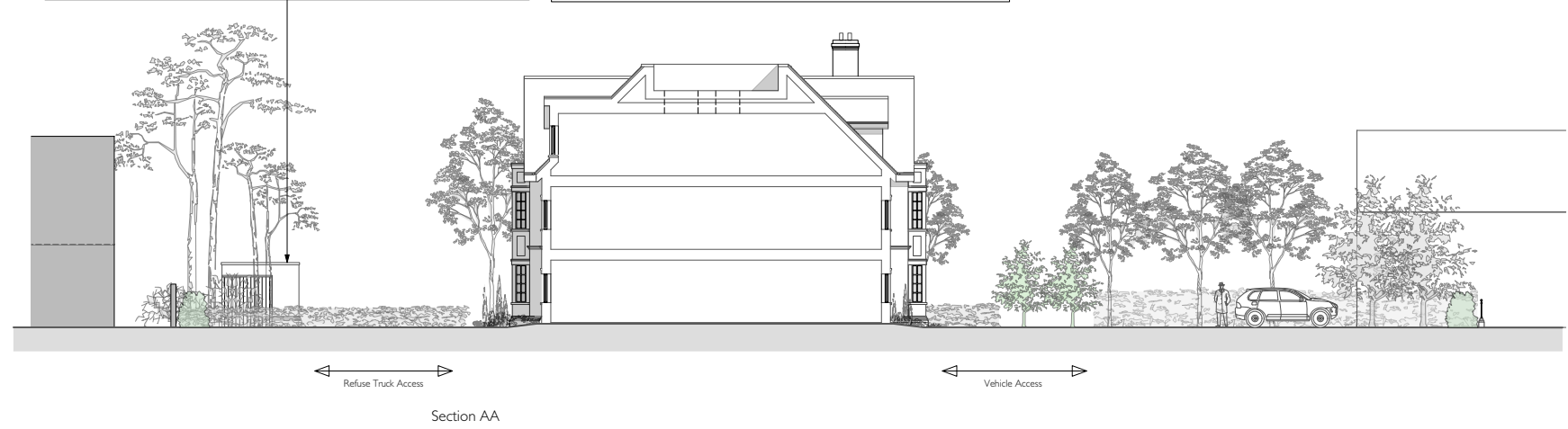
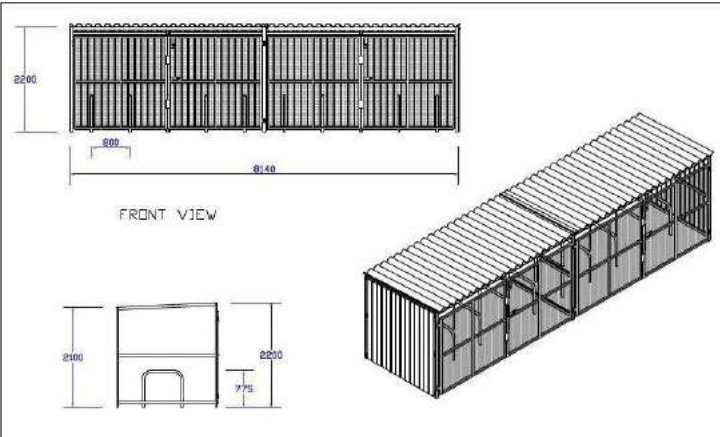
Our High Security Mesh System is designed to offer exceptional bike parking security in areas such as underground car parks, between archways or pre-existing structures.


Customised to fit your exact requirements, cycle parking capacity and security requirements. Perfectly suited to high security applications, providing excellent see through visibility extensively used with CCTV.

Ultra-secure 76.2mm x 12.7mm aperture with 4mm wires, supplied with 80 x 80mm SHS posts.

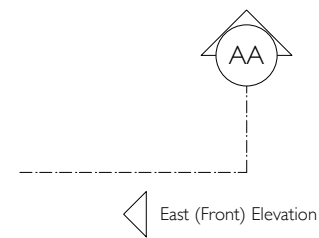
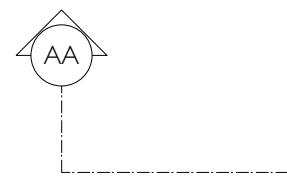
- Available in hot dipped galvanised or polyester powdercoated to any RAL colour
- Unique tamper proof clamp fixing system
- Baseplate or roof fixed
- Secured by Design compliant
- Other colours/finishes available upon request
- Supplied in 1.8m, 2.0m, 2.4m, 2.7m and 3.0m heights





 <p>15 HOOPERS YARD LONDON NW6 7EJ t : 020 7328 2576 f : 020 7624 7811 Email: info@hubarchitects.co.uk</p>	<p>All dimensions are to be checked on site before commencement of works.</p> <p>All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.</p> <p>Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.</p> <p>This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.</p>	<table border="1"> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Initial</th> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Initial</th> </tr> <tr> <td>/</td> <td>17/04/18</td> <td>Issued for Planning</td> <td>PK</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A</td> <td>19/09/18</td> <td>Bike Store amended - Planning officer's comments .</td> <td>DP</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td>28/09/18</td> <td>Bike Store amended - to Planning officer's comments .</td> <td>NAN</td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	Rev.	Date	Description	Initial	Rev.	Date	Description	Initial	/	17/04/18	Issued for Planning	PK					A	19/09/18	Bike Store amended - Planning officer's comments .	DP					B	28/09/18	Bike Store amended - to Planning officer's comments .	NAN					<h2>PLANNING</h2>	
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		Project: 70a-72 The Ridgeway, EN2 8JB	Drawing: Proposed Section AA																																	
		Scale: 1:100@A1, 1:200@A3	DWG: 1245 - PL017																																	
		Date: Feb 2018	Revision: B																																	

North Elevation

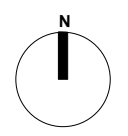



East (Front) Elevation

West Elevation



South Elevation



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		A	08/10/18	Minor amendments.	DP																							
<p>Project: 70a-72 The Ridgeway, EN2 8JB Drawing: Proposed First Floor Plan</p>																												
<p>Scale: 1:100@A1, 1:200@A3 DWG: 1245 - PL011</p>																												
<p>Date: Feb 2018 Revision: A</p>																												



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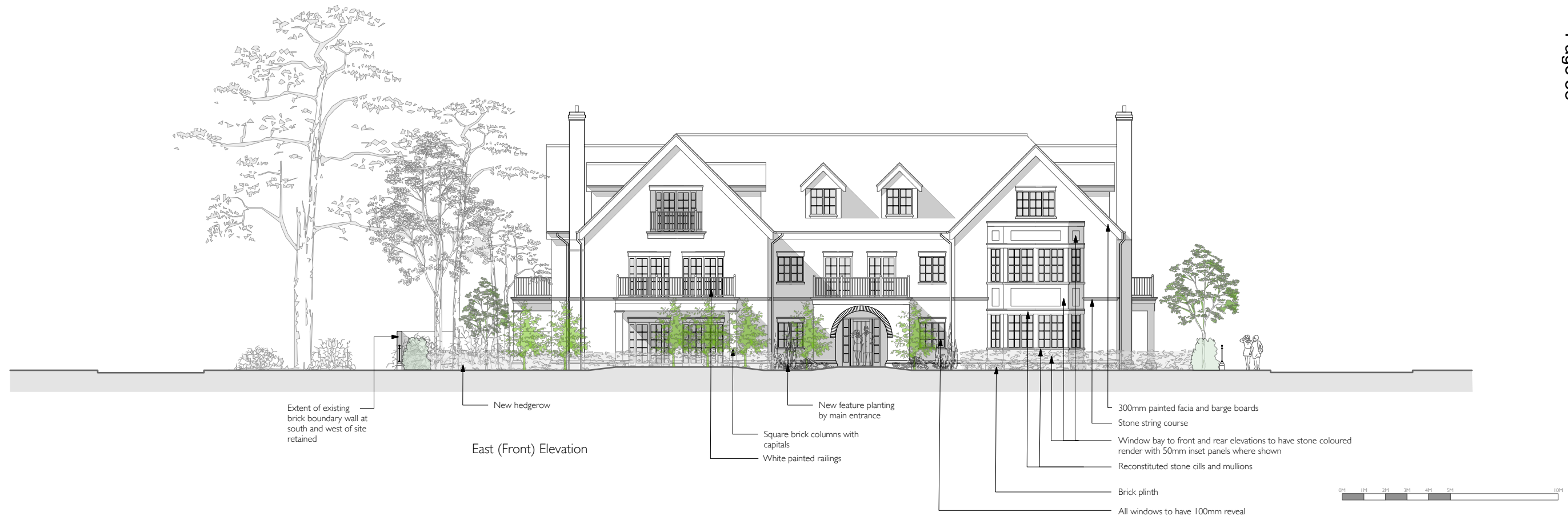
Rev.	Date.	Description.	Initial.	Rev.	Date.	Description.	Initial.
/	17/04/18	Issued for Planning	PK				
A	28/09/18	Landscape amended to Planning officers comments	NAN				

PLANNING

Project:	70a-72 The Ridgeway, EN2 8JB	Drawing:	Proposed Block plan
Scale:	1:200@A1	DWG:	1245 - PL008
Date:	Feb 2018	Revision:	A



North Elevation



East (Front) Elevation



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Rev.	Date.
/	17/04/18
A	19/09/18

Description.
Issued for Planning
Landscaping revised following comments

Initial.	Rev.	Date.
PK		
DP		

Description.

Initial.

PLANNING

Project:	70a-72 The Ridgeway, EN2 8JB	Drawing:	Proposed North & East Elevations
Scale:	1:100@A1, 1:200@A3	DWG:	1245 - PL014
Date:	Feb 2018	Revision:	A

AREA COMPARISON CHART (msq)

Scheme	Building Footprint	Hardstanding	Amenity Space
Existing	336	793	738
16/01782	580	431	902
17/01298	547	435	911
18/01539	504	606	794
Option I	504	378	974

Amazon Eco Cycle Shelter with Sheffield racks by **The Bike Store Company** :

- Clad in FSC timber
- Galvanised mild steel frame
- Security lock - Diglock
- Wood clad sliding gates



CAR PARKING
 20% of car parking spaces to have active EV (Electric Vehicle) charge points
 20% of car parking spaces to have passive provision

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Rev.	Date	Description	Initial
/	17/04/18	Issued for Planning	PK
A	21/06/18	Apartment 1 - Master Bedroom, dressing area and ensuite layout reconfigured. Car park charge points information added. Two short stay bicycle parking spaces added.	PK
B	17/07/18	Areas of amenity space increased, number of parking spaces reduced.	PK
C	26/07/18	Areas relating to 16/01782 scheme added.	PK
D	08/08/18	Landscaping amended following site meeting with Enfield Case Officer on 7/8/2018.	PK
E	12/09/18	Landscaping amended following comments from Planning officer.	PK

Rev.	Date	Description	Initial
F	19/09/18	Bike Store amended - Planning officer's comments.	PK
G	28/09/18	Parking Bay amended to Planning officer's comments.	PK

Initial DP
 NAN

PLANNING

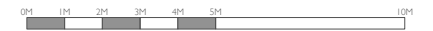
Project:	70a-72 The Ridgeway, EN2 8JB	Drawing:	Proposed Ground Floor Plan Option I
Scale:	1:200@A1	DWG:	1245 - PL010 - OPT.1
Date:	Feb 2018	Revision:	G



South Elevation



West (Rear) Elevation



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f : 020 7624 7811
Email: info@hubarchitects.co.uk

All dimensions are to be checked on site before commencement of works.
All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.
Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.
This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.

Rev.	Date.
/	17/04/18

Description.
Issued for Planning

Initial.	Rev.	Date.
PK		

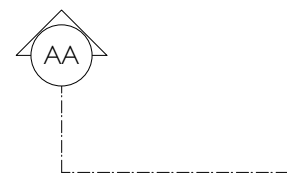
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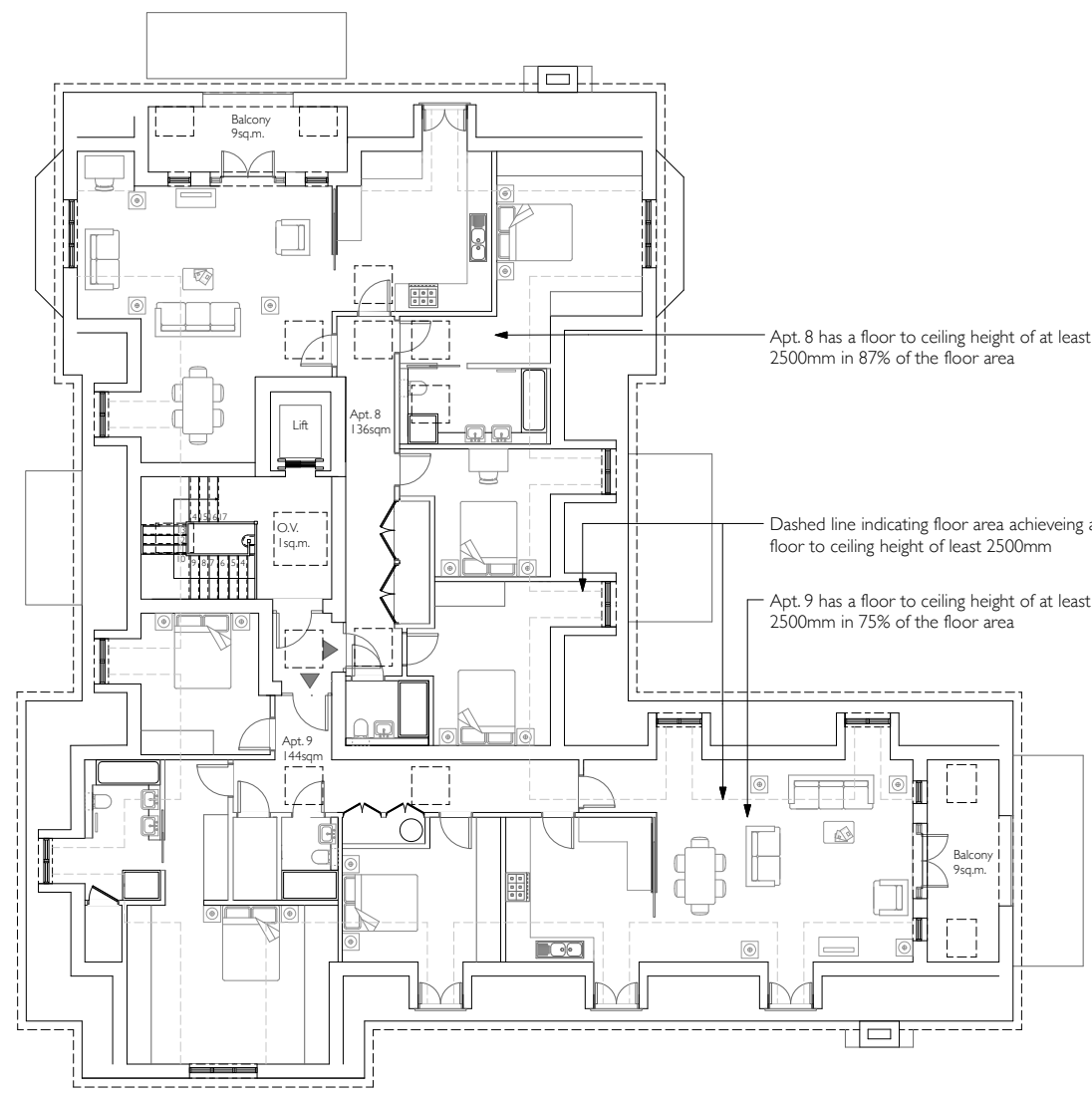
PLANNING

Project:	70a-72 The Ridgeway, EN2 8JB	Drawing:	Proposed South & West Elevations
Scale:	1:100@A1, 1:200@A3	DWG:	1245 - PL015
Date:	Feb 2018	Revision:	/

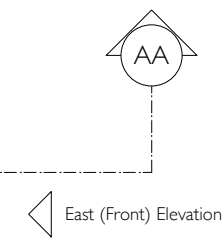
North Elevation



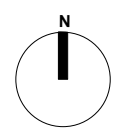
West Elevation



South Elevation



East (Front) Elevation



15 HOOPERS YARD
LONDON
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All dimensions are to be checked on site before commencement of works.
All sizes and dimensions to any structural elements are indicative only. See structural engineer's drawings for actual sizes/dimensions.
Sizes of and dimensions to any service elements are indicative only. See service engineer's drawings for actual sizes/dimensions.
This drawing to be read in conjunction with all relevant Architect's drawings, specifications and other consultants' information.

Rev.	Date.	Description.	Initial.	Rev.	Date.	Description.	Initial.
/	17/04/18	Issued for Planning	PK				
A	30/05/18	Floor to ceiling height of areas achieving at least 2500mm indicated	PK				
B	08/10/18	Minor amendments.	DP				

PLANNING

Project:	70a-72 The Ridgeway, EN2 8JB	Drawing:	Proposed Second Floor Plan
Scale:	1:100@A1, 1:200@A3	DWG:	1245 - PL012
Date:	Feb 2018	Revision:	B

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 23rd April 2019

Report of

Head of Planning

Contact Officer:

Josleen Ray

Ward:

Edmonton Green

Ref: 19/00632/FUL

Category: Major

LOCATION: Meridian Works, Units 4, 5, 6, 9 And 9A and adjacent land at Orbital Business Park, 5 Argon Road, Edmonton, N18 3BW

PROPOSAL: Use of buildings and adjacent land to host the Field Day 2019 music festival on 7th-9th June 2019 for up to 25,000 visitors. Festival opening times 7th/8th June 12pm-3am, 8th/9th June 12pm-3am with no outdoor performances after 10:30pm on both days. Associated works to the adjacent land.

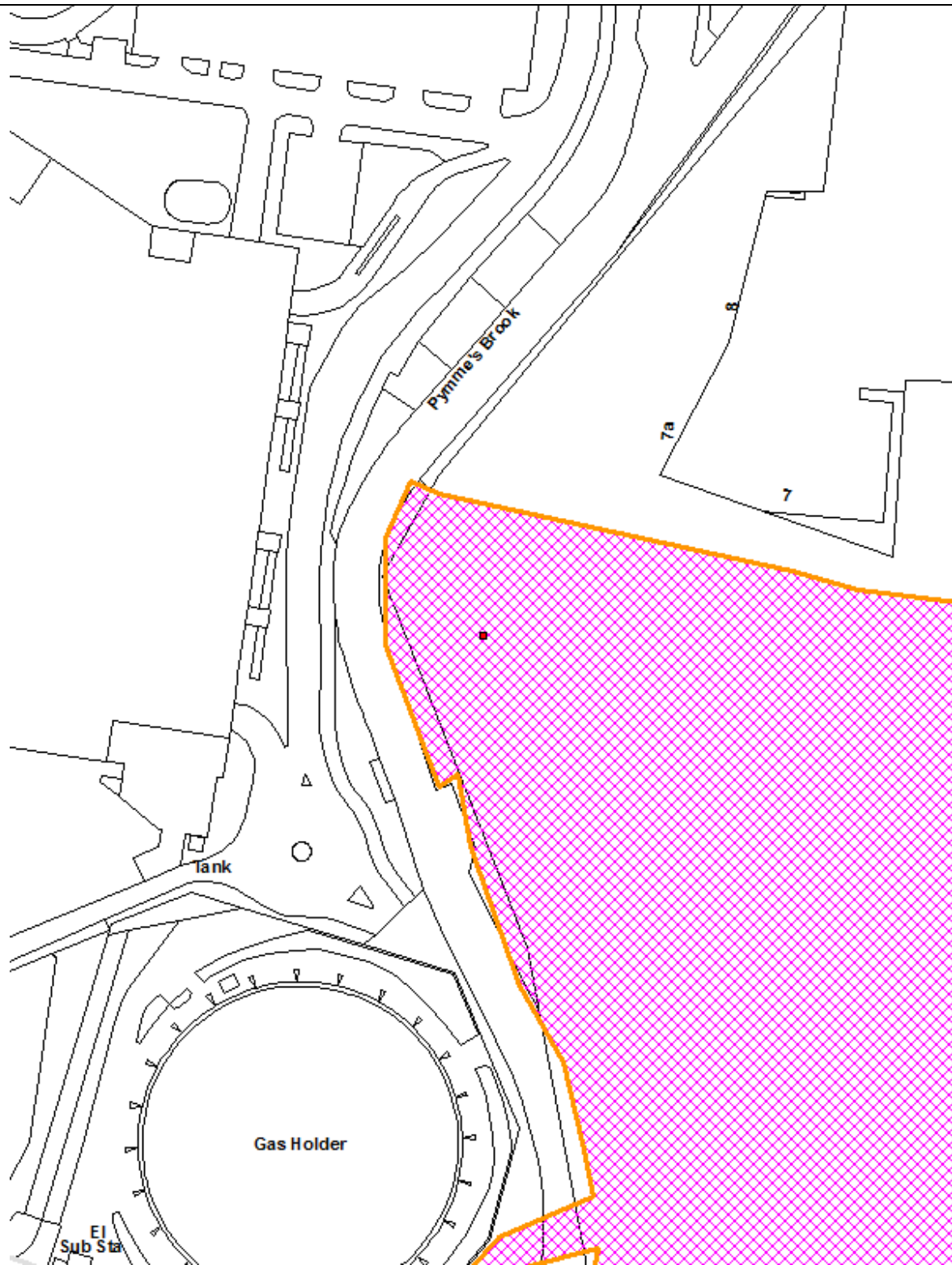
Applicant Name & Address:
Broadwick Ventures Limited

Agent Name & Address:
Knights plc
The Brampton
Newcastle-under-Lyme

RECOMMENDATION:

That, subject to the receipt of satisfactory ecological survey results, the Head of Development Management/Planning Decisions Manager be authorised to GRANT planning permission subject to conditions and add any additional planning conditions necessary to secure appropriate mitigation as well as make any minor amendments to the wording of the conditions drafted in Part 1 of this report.

Ref: 19/00632/FUL LOCATION: Meridian Works, Units 4, 5, 6, 9 And 9A And Adjacent Land At



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Scale 1:1250

North



1.0 Recommendation

1.1 Planning permission be deemed to be GRANTED subject to conditions.

1. The development to which this permission relates solely to the Field Day festival event on the weekend of 7-9th June 2019 and following the event the application site shall revert to its former use.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. All equipment and paraphernalia associated with the event shall be removed from the land and buildings no later than 23rd June 2019 after the event.

3. The development hereby permitted shall be carried out in accordance with the following approved plans and documents (*This condition will need updating to reflect the final drawings and documents*).

Reason: For the avoidance of doubt and in the interests of proper planning.

4. Prior to the commencement of development a statement confirming that the site has been capped in accordance with the approved details pertaining to application 18/04914/RE4 shall be submitted to and agreed in writing by the Local Planning Authority. This shall provide evidence that the conditions of that permission have been satisfied and that the use of the land would pose no risk to human health.

Reason: To ensure that the site does not pose any further risk to the water environment by managing any ongoing contamination issues and completing all necessary long-term remediation measures. This is in line with paragraph 170 of the National Planning Policy Framework, Policy CP32 of the Core Strategy and Policies DMD64 and DMD66 of the Development Management Document

5. The development hereby permitted shall not commence until the open land to the south of the buildings has been capped in accordance with the planning permission 18/04914/RE4.

Reason: To ensure that the site does not pose any risks to human health.

6. Prior to the commencement of development hereby permitted, the applicant shall submit details to the Local Planning Authority to demonstrate how their proposed oil storage arrangements comply with the Control of Pollution (Oil Storage) (England) Regulations 2001. The development shall be carried out in accordance with the approved details.

Reason: To ensure the activity does not have any adverse impacts on the water quality of the Lee Navigation.

- 7 Prior to the commencement of development hereby permitted, Water and Waste Management Plans shall be submitted to and approved in writing by the Local Planning Authority and implemented as agreed.

Reason: To ensure the activity does not have any adverse impacts on the water quality of the Lee Navigation.

- 8 Prior to the commencement of development hereby permitted, a lighting plan including lux levels shall be submitted to and approved in writing by the Local Planning Authority and implemented as agreed.

Reason: To ensure the proposed activity does not have any adverse impacts on the ecology of the Lee Navigation or Pymmes Brook.

- 9 The use of supports, including marquee pegs, using penetrative methods shall not be carried out other than with the written consent of the Local Planning Authority in consultation with the Environment Agency. The development shall be carried out in accordance with the approved details.

Reason: Supports, including marquee pegs, using penetrative methods can result in risks to groundwater from, for example, the risk of mobilising contamination and creating preferential pathways. Groundwater is particularly sensitive in this location because the proposed development site is within Source Protection Zone 2 and is located upon Secondary Aquifer A.

- 10 No infiltration surface water drainage into the ground is permitted other than with the written consent of the Local Planning Authority in consultation with the Environment Agency. Any proposals for such systems must be supported by an assessment of the risks to controlled waters. The development shall be carried out in accordance with the approved details.

Reason: The previous use of the proposed development site as a chemicals site linked to gas manufacture presents a high risk of contamination that could be mobilised by surface water infiltration from the proposed sustainable drainage system (SUDS). This could lead to pollution of controlled waters.

- 11 The music event hereby approved shall not take place before 12pm on the 7th June 2019 or after 3am on the 8th June, or between 3am-12pm on the 8th June or after 3am on the 9th June except for site and event set-up/ clear-up.

- 12 No outdoor performances are permitted after 10:30pm on the 7th or 8th June 2019.

Reason: To safeguard the amenities of nearby residents.

- 13 The event shall comply with the limits set out in the noise management plan.

Reason: To safeguard the amenities of nearby residents.

- 14 The maximum number of patrons attending the event shall not exceed 25,000 (this excludes staff, security, marshals and performers).

Reason: To ensure the event does not have significant adverse effects on the capacity of local roads and the transport network as well as the amenities of nearby residents and businesses.

- 15 The site shall be enclosed around its perimeter in accordance with the plans hereby approved and accessed only in accordance with the approved points of entry/ egress.

Reason: To ensure that the movement of people is managed safely.

- 16 Prior to the event a litter and plastic waste minimisation strategy shall be submitted to and agreed in writing with the Local Planning Authority. The strategy shall detail how litter will be cleared from the site and the adjoining watercourses during and after the event and include the timescale within which the post-event clean-up will take place. The clearance of litter shall then be carried out in accordance with these approved details.

Reason: To ensure the site and surrounding areas are left in a satisfactory state and to limit the impact on the sensitive ecological receptors of the Pymmes Brook and River Lee.

- 17 The site shall not be used for the purposes hereby approved until evidence has been submitted to demonstrate that suitable access to the site has been agreed with any third party land owners and such access arrangements provide for the protection and mitigation of any ecological assets.

Reason: To ensure suitable access to the site is provided.

- 18 Prior to the event details of safe and convenient vehicle drop off facilities, including for taxis and private vehicles shall be submitted to and approved in writing by the Local Planning Authority. The facilities shall be available for the duration of the event.

Reason: To minimise disruption to the local highway network and disturbance to adjoining businesses and residents.

- 19 Prior to the event, final details of the ingress and egress plan shall be submitted to and agreed in writing with the Local Planning Authority. This shall include a plan showing alternative routes for users impacted by any highway closures required to facilitate the event. The management of the event shall be carried out in accordance with the approved details.

Reason: To ensure safe and convenient access is provided to the event and disruption to adjoining sites is minimised.

- 20 Prior to the event details of the details of the methodology for undertaking the parking surveys before and during the event and the extent of survey area shall be submitted to and approved in writing by the Local Planning Authority. The surveys shall be undertaken in accordance with the approved details and the results provided to the Local Planning Authority on completion.

Reason: To monitor the impacts of the use on local roads and on street parking.

- 21 Prior to the event details of appropriate and secure cycle parking facilities shall be provided in a location and at a level agreed in writing with the Local Planning Authority. The facilities shall be provided in accordance with the approved details and maintained for the duration of the event.

Reason: To ensure appropriate facilities are provided and to ensure access is available for all modes.

2.0 Note for Members

- 2.1 The application has been brought to the Planning Committee because the proposal is for a Major meanwhile development in the Meridian Water regeneration area. The site is also within Council ownership.
- 2.2 Members are also advised that the event is subject to an application for a premises license under the Licensing Act 2003.

3.0 Summary of Reasons for Recommendation

- 3.1 The report seeks approval for the use of land and buildings within the Meridian Water regeneration area for a 2-day musical festival event, Field Day, on 7th-9th June 2019. The site falls within a parcel of land earmarked for redevelopment as part of Phase 2 of the Meridian Water development which is currently at pre-application discussion stage with the LPA. The event would be held in existing warehouse buildings and

adjoining land directly to the south, previously used for industrial processes. The land and buildings are non-designated employment land and are currently vacant. The proposed event would be for 2 days only with the site being vacated following the event with no permanent structures or interventions retained. Approval has already been granted for the capping of the land included within the application site to contain existing contaminants. This work is required to any meanwhile use commencing.

3.2 The reasons for recommending approval of this application are:

- i) The proposals for a meanwhile use on vacant land prior to the implementation of the wider regeneration of Meridian Water will attract visitors to the borough, entertainment for local people, generate income and provide jobs.
- ii) The proposed temporary use would not prejudice the future use of the site for employment, business or residential-led mixed use purposes either as a stand-alone site or as part of the phase 2 parcel of land.
- iii) The measures to be put in place to manage the flow of people and traffic to and from the event would ensure the proposal would be acceptable in terms of highway and pedestrian safety and traffic generation.
- iv) The development would not result in any demonstrable harm to visual or residential amenity, ecology or flood risk.

4.0 Site and Surroundings

4.1 The application site lies within the Orbital Business Park and a mixed industrial and retail area. It is bounded by Ravensdale Retail Park to the north, the Lee River Navigation and tow path to the east, Tottenham Marshes Nature Reserve to the south and Pymmes Brook and Ikea retail store to the west.

4.2 The site includes units 4, 5, 6, 9 and 9a of the Business Park currently vacant purpose-built warehouse buildings previously used for a variety of storage and distribution uses falling within B8 class use. Units 4, 5 and 6 comprise 3 rectangular buildings with a combined floor area of approximately 6,500sqm. Units 9 and 9a have a total floor area of approximately 1,500sqm. The adjoining warehouse buildings are currently occupied and in use again for uses falling within B2 and B8, appropriate to the industrial nature of the business park.

4.3 The site also includes the vacant land to the south of the buildings which has an area of approximately 4.3 hectares. It is vacant and comprises vegetation: bushes, trees and low-lying scrub but was previously known as Leaside Chemical Works and processed gasworks waste. The site was also used for soil screening and concrete crushing.

- 4.4 Whilst the site is located within the Orbital Business Park, it does not fall within the Strategic Industrial Land designation. The site lies predominately in Flood Zone 2 with the land to the north eastern corner of the site within Flood Zone 3. The site also falls within the Lea Valley West Bank Archaeological Priority Area. The site is located next to the River Lea, which is a priority habitat as per the NPPF, and at this location is part of the Lea Valley Site of Metropolitan Importance for Nature Conservation (SMINC).

5.0 Proposal

- 5.1 Permission is sought for the use of land and buildings for a 2-day music festival in June this year. The festival, known as Field Day, has been held in London for over 10 years, most recently in Brockwell Park and prior to that Victoria Park. This year it is proposed to operate both within the buildings and also outside on the adjacent land to the south. The use of land alone for such an event would not normally require planning permission due to the permitted development rights afforded to the temporary use of land under Class B, Part 4 of the Town and Country Planning (General Permitted Development) (England) Order 2015. However, as the festival would also operate within the warehouse buildings, for which the aforementioned rights do not apply, planning permission is required for the 2-day event.
- 5.2 The proposed opening hours for the event are from 12.00 midday on Friday 7 June to 3.00 am on Saturday 8 June and from 12.00 midday on Saturday 8 June to 3.00am on Sunday 9 June. No performances will take place outside the buildings after 10.30pm. The event will accommodate a maximum of 25,000 people. The evening part of the event (within the buildings beyond 10.30 and until 3.00am) is only open to people who are already on site. The last entry time for the event is 8pm.
- 5.3 Given the historic uses on the site the land is subject to contamination. In order to ensure the site is suitable for meanwhile uses and safe for use by the general public, the vacant land will be capped (covered with a 400mm layer of material to prevent contaminants releasing from the ground, with an additional layer of aggregate and topsoil). A perimeter track and stage area within the north western corner of the site constructed out of crushed tarmac would also be provided. Planning approval for this work was consented in March (see relevant planning history below) and will be carried out prior to the use of the site for the proposed event subject of this application.
- 5.4 Within this application limited physical works are proposed to the site itself to facilitate the event. This includes the installation of natural turf over the capping layer to provide a more suitable surface for attendees of the event. In addition, an area of the site in the north east corner of the site adjoining the River Lee which lies in Flood Zone 3, not subject to capping, is proposed to be covered in a membrane with a temporary deck above to enable access over part of the land. This is required for access between the buildings and the field and acts as a thoroughfare rather than a sitting out area.
- 5.4 Various temporary structures are required for the event. These include an external stage, gates, fencing and lighting. These are temporary structures that are required

for the event only and will be removed following the event. The principal point of access for attendees of the event will be in the south western corner of the site over an existing Bailey Bridge over Pymmes Brook. For those attendees arriving through Tottenham Hail station the main routes to the site will be through a stewarded route through Tottenham Marshes or along Watermead Way/ Meridian Way. For those approaching from Meridian Water station, a pedestrian route along Leaside Road will be provided.

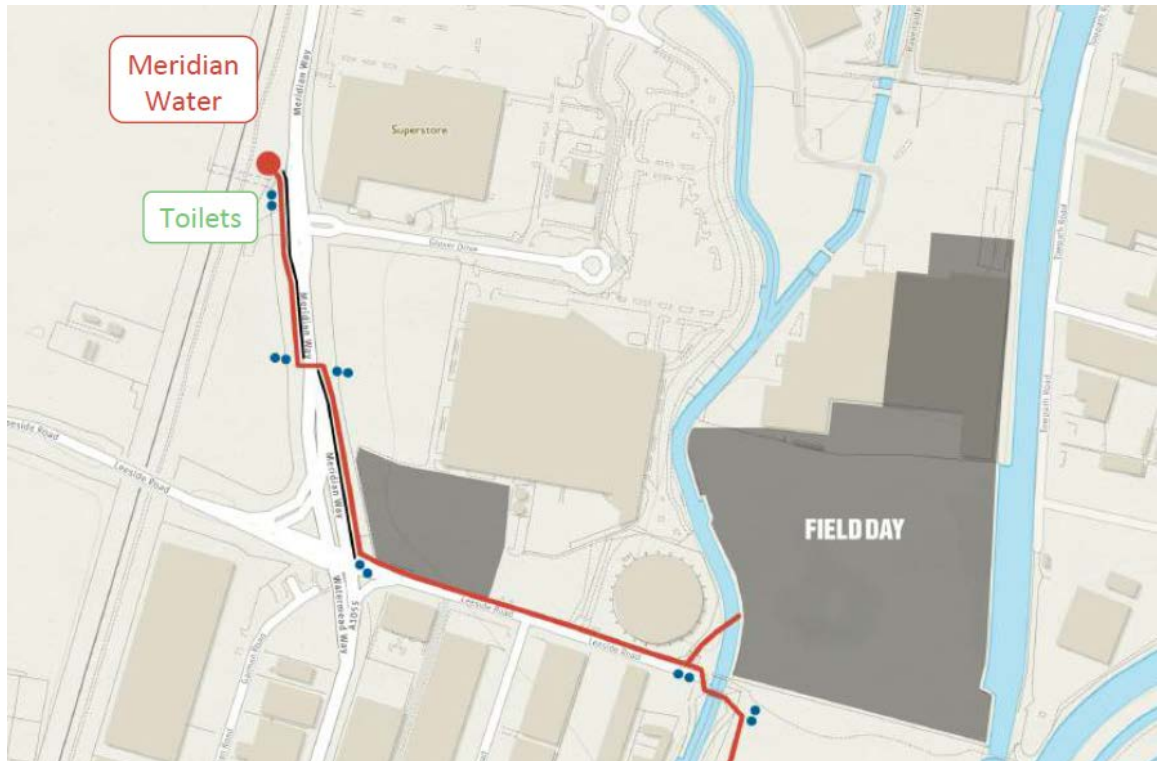


Figure 1 – Ingress Plan showing access into the site across an existing bridge over the Pymmes Brook and the routes from Meridian Water Station and Tottenham Marshes.

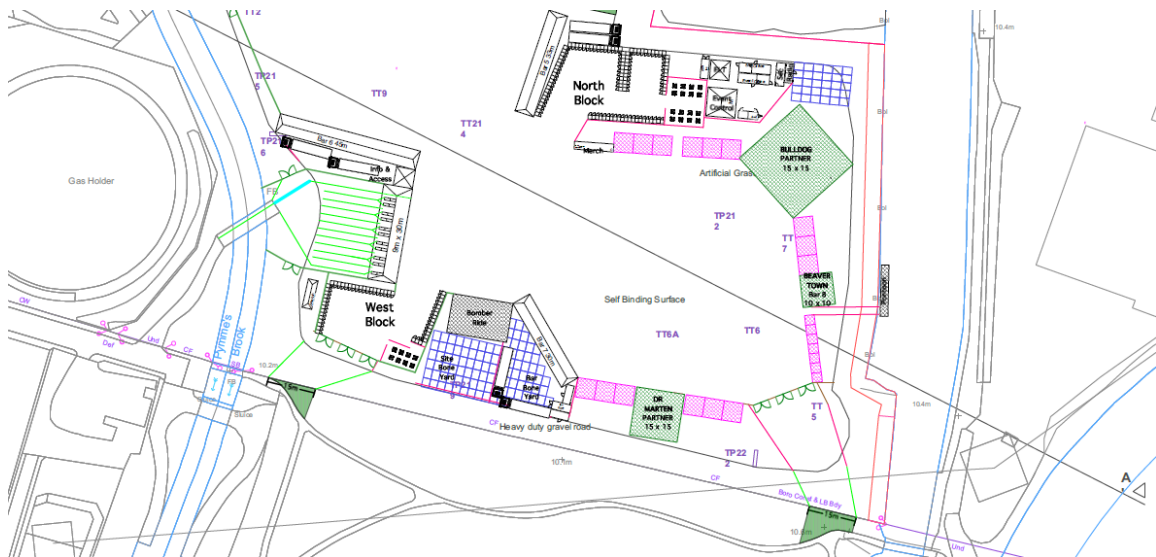


Figure 2 – Detailed Site Layout plan showing the entry point into the site from the bridge over Pymmes Brook and the emergency exit points (shaded in green) from the site onto Tottenham Marshes.

6.0 Relevant Planning History

- 6.1 18/04914/RE4 – Capping of the site with a maximum of 400mm material across the existing ground levels of the site. Granted 20/03/19.
- 6.2 19/01067/CND – Details submitted pursuant to 18/04914/RE4 for the monitoring and maintenance plan (5) in relation to the capping of the site with a maximum of 400mm material across the existing ground levels of the site. Granted 28/03/19.
- 6.3 19/01068/CND – Details submitted pursuant to 18/04914/RE4 for the Sustainable Drainage Strategy (7) in relation to the capping of the site with a maximum of 400mm material across the existing ground levels of the site. Granted 03/04/19.
- 6.4 18/04932/SCOP - Request under Regulation 15 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 (as amended) for an EIA Scoping Opinion for Meridian Water Phase 2 for an outline planning application for a residential led mixed-use development of approximately 2000 homes and Meridian Water Strategic Infrastructure Works including roads, bridges, remediation, earthworks, utilities and flood attenuation works. – Response issued 15th February 2019.

Wider Meridian Water Site

- 6.5 16/01197/RE3 – Development of Phase 1 of Meridian Water comprising up to 725 residential units, new station building, platforms and associated interchange and drop-off facilities including a pedestrian link across the railway, a maximum of 950

sqm retail (A1/A2/A3), floorspace, a maximum of 600 sqm of community (D1) floorspace, a maximum of 750 sqm of leisure (D2) floorspace, associated site infrastructure works including ground and remediation works, roads, cycle-ways and footpaths, utility works above and below ground, surface water drainage works, energy centre and associated plant, public open space and childrens play areas, and various temporary meantime uses without structures (landscaping and open space). OUTLINE APPLICATION - ACCESS ONLY. An Environmental Statement, including a non-technical summary, also accompanies the planning application in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (as amended by the 2015 Regulations). – Granted 10/07/2017 – works have commenced on implementing the station which is expected to be complete in Summer 2019.

- 6.6 The new station building approved under this permission is now almost complete with a planned opening in May 2019.

7.0 Consultation

7.1 Statutory and Non-Statutory Consultees

Environment Agency

7.1.1 Groundwater Protection:

No objection subject to the imposition of recommended conditions concerning groundwater protection and restrictions on penetrative methods including infiltration drainage to limit the risk of mobilising contamination.

7.1.2 Flood Risk:

The development is located within 8m of the main rivers Pymmes Brook and Lee Navigation, and within fluvial Flood Zones 2 and 3a. A Flood Risk Assessment has been submitted with the application and based on this and the emergency flood response plan also submitted there are no objections on flood risk grounds.

Environmental Health

- 7.1.3 A comprehensive noise management plan has been submitted that addresses all the likely noise issues. Noise levels have been agreed that will control the level of noise outbreak from the event both during daytime and night time. The noise levels agreed specifically control low frequency content of the noise spectrum as well as having a general noise level to meet. Noise at night is further controlled by the fact that the music will be inside existing buildings.

- 7.1.4 In terms of ground contamination there is only a low risk to site users from contamination and it is proposed to put down a capping layer which will separate any contamination from people attending the event. There are no concerns regarding air quality.

Canal and River Trust

- 7.1.5 No objections subject to conditions to ensure measures are in place to protect the water quality of the Lee Navigation and the ecology of the waterway corridor. Measures to include prevention of litter should also be in place.

Officer response:

Recommended conditions concerning waste management, litter and lighting have been imposed.

Natural England

- 7.1.6 No objections subject to appropriate mitigation being secured to protect the Lee Valley SPA and associated SSSI. Mitigation should include a waste management plan for the site and agreement with the Lee Valley Regional Park Authority (LVRPA) with regards to the entry and exit through their land which is managed under a Higher Level Stewardship Agreement for the benefit of biodiversity.

Officer Response:

Conditions have been imposed to ensure that the special ecological value of sensitive adjoining areas are protected. This includes requiring details of lighting associated with the use to ensure that the levels are appropriate and spill onto adjoining sensitive receptors is deflected. A waste management plan as well as site clean-up details are also required as a condition of the permission.

The applicant is in the process of entering into an agreement with LVRPA which will provide terms for costs and any remediation of land required within the LVRPA's jurisdiction. A condition has been imposed to ensure suitable arrangements are in place prior to the event with third party land owners.

London Borough of Haringey

- 7.1.7 The planning permission for Tottenham Hotspur permits 8 major events per year and it cannot be guaranteed that the date proposed will not clash with these approved major events. This has serious implications for transport capacity and safety in the area. The Transport Assessment identifies that 60% of festival patrons would travel to Tottenham Hale Station which is expected to receive between 6,000 and 13,000 people travelling to a major event at Tottenham Hotspur Stadium.

Officer Response:

The planning representative for Tottenham Hotspur has verbally confirmed that there are currently no planned events at the Stadium on the date of the Field Day event 2019. The capacity of Tottenham Hale is a matter for Transport for London to advise on and officers will update Members on their response at the meeting.

Following the initial consultation response the Transport Management Plan was updated with further information provided on mode share projections. LB Haringey were reconsulted on the application from 25/03/19-08/04/19. No further comments have been received at the time of writing the report.

- 7.1.8 The main pedestrian route to the festival would be through Tottenham Marshes which is a Site of Importance for Nature Conservation. This will result in damage to the ecology of this area and is a risk for public safety.

Officer Response:

The applicant is in discussion with the Lee Valley Regional Park Authority regarding access through their land and entering into an agreement to ensure its ecological value is safeguarded as detailed in para 7.1.6 above. The route through the marshes will be unlit and only be possible up until 8pm. When leaving the event, patrons will be directed towards Watermead Way and will not be permitted to leave through the marshes.

The safety of the routes will be managed through the licencing procedure and further information on this aspect can be found in section 9 of this report and in particular the section entitled Pedestrian Access.

- 7.1.9 The Festival cannot be permitted unless guarantees are in place to ensure there is no clash with a Tottenham Hotspur Major Event and mitigation is provided to protect the Ecology of the Marshes and ensure public safety.

Officer Response:

See section 9 and comments on Pedestrian Access for further information.

London Fire Brigade

- 7.1.10 Insufficient information provided in relation to access and facilities for fire fighters.

Officer Response:

Further information was provided from the applicant in an email dated 21/03/19 in response to the comments from the Fire Brigade which included details of where the information on emergency access routes could be found within the submitted documentation. The applicant also confirmed that a pump appliance can be facilitated access via the perimeter road on the site.

A reconsultation with all consultees was carried out from 25/03/19-08/04/19 to provide an opportunity for amended and additional information to be considered (including the aforementioned email). No further comments have been received from the Fire Brigade in relation to this reconsultation.

Metropolitan Police

- 7.1.11 No comments received.

Lee Valley Regional Park Authority

- 7.1.12 No comments received.

SUDS officer

7.1.13 No objections.

Traffic and Transport

7.1.14 No objections subject to conditions.

Environmental Health

7.1.15 No objection to the application. There is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality, noise or contaminated land. A comprehensive noise management plan has been provided that addresses all the likely noise issues. Noise levels have been agreed that will control outbreak from the event both daytime and at night. The noise levels agreed specifically control low frequency content of the noise spectrum as well as having a general noise level to meet. Noise at night is further controlled by the fact that the music will be inside existing buildings.

7.1.16 In terms of ground contamination it is proposed to put down a capping layer, which will separate any contamination from the people attending the event thereby ensuring there is no risk to human health.

Ecological Consultant

7.1.17 The Ecological Consultant has advised:

Bats - Most of the buildings on site are unsuitable to host roosting bats. However, the applicant's ecology report identifies a very low risk in building 9a and therefore further clarification has been sought on the works they are proposing to address this.

Nesting birds – The applicants ecology report identifies that the buildings provide suitable habitat for nesting birds. The Council's Ecological Consultant has also identified that the buildings are suitable for use by nesting Black Redstarts, one of the rarest breeding birds in the UK and listed on Schedule 1 of the Wildlife and Countryside Act. Surveys need to be undertaken to establish if there are nesting birds present and agree an appropriate mitigation strategy. The survey season for Black Redstarts is between April and July. Surveys are planned and it is anticipated that the first 2/3 surveys will be undertaken in advance of the Planning Committee meeting with an interim report available for the meeting. Officers will provide an update on the findings at the meeting.

Lighting and litter – conditions recommended requiring details of propose lighting and litter clearance strategy to safeguard the adjoining river corridor.

Inland Waterway Association

- 7.1.18 No objections to the proposals but support the Canal and River Trust in calling for specific provisions for clearing litter and debris after the event, from the adjacent Lee Navigation. The canal towpath is not mentioned in the options for access to the site, but seems likely to be heavily used by festival goers.

Officer response:

The provisions concerning litter and debris have been secured via planning condition. Access to the event will be carefully stewarded by event staff and patrons will be directed towards the routes agreed through the licencing process in the interest of public safety.

Transport for London (TfL)

- 7.1.19 Transport for London have been consulted on the planning application but a response had not been received at the time of report writing. Comments are expected to be received by 17th April and officers will provide Members with their comments at the Meeting.

7.2 Public:

- 7.2.1 Consultation letters were sent to 50 adjoining and nearby occupiers. Site notices were posted on Leaside Road, Kimberley Road and Ladysmith Road and a press notice was published in the local paper. One email has been received from a resident in London Borough of Waltham Forest which included comments on both planning and licencing aspects of the event. The planning related comments are summarised below:

- Clarification requested over the potential number of people at the venue;
- Further information requested on the steps that will be taken to mitigate noise nuisance and whether the response will be immediate;
- Query over maximum noise levels and how the Council will ensure these limits are adhered to;
- Waltham Forest residents should be notified of development proposals in the Meridian Water area given its proximity to built up residential areas in this borough;

Officer Response:

The clarifications requested were provided by direct reply to the resident. Maximum noise levels have been agreed with the Council's Noise Officer through the Noise Management Plan submitted with the application. Any noise complaints can be made to the Council through the usual out of hours number and this can be communicated to on-site officers who can check noise levels and liaise with the Event Liaison Team if required.

As the London Borough of Waltham Forest does not directly adjoin the site there is no statutory requirement to send a notification of the planning

application. However, the application has been advertised on site and in the press and is publicly available to view.

8.0 Relevant Planning Policies

8.1 London Plan (2016)

Policy 2.14 - Areas for regeneration
Policy 2.16 - Strategic outer London development centres
Policy 4.1 – Developing London’s economy
Policy 5.3 – Sustainable design and construction
Policy 5.12 - Flood Risk Management
Policy 5.21 - Contaminated Land
Policy 6.3 - Assessing Effects of Development on Transport Capacity
Policy 6.13 – Parking
Policy 7.15 – Reducing noise and enhancing soundscapes
Policy 7.19 – Biodiversity and access to nature
Policy 7.21 - Trees and Woodland

8.2 Core Strategy (2010)

Core Policy 24 - The Road Network
Core Policy 27 – Freight
Core Policy 28 - Managing Flood Risk through Development
Core Policy 29 - Flood management infrastructure
Core Policy 31 - Built and landscape heritage
Core Policy 32 - Pollution
Core Policy 36 - Biodiversity
Core Policy 37 - Central Leaside
Core Policy 38 - Meridian Water

8.3 Development Management Document (2014)

DMD22 – Loss of Employment outside Designated Areas
DMD34 – Evening Economy
DMD47 - Access, New Roads and Servicing
DMD48 – Transport Assessments
DMD57 - Responsible Sourcing of Materials, Waste Minimisation and Green Procurement
DMD59 - Avoiding and Reducing Flood Risk
DMD61 - Managing Surface Water
DMD62 – Flood Control and Mitigation Measures
DMD63 - Protection and improvement of watercourses and flood defences
DMD64 - Pollution control and assessment
DMD66 - Land contamination and instability
DMD68 – Noise
DMD69 – Light Pollution
DMD75 – Waterways
DMD78 - Nature conservation
DMD79 - Ecological Enhancements

DMD80 - Trees on development sites
DMD81 - Landscaping

8.4 Draft London Plan (2018)

A draft London Plan was published on 29 November 2017 for consultation purposes with a deadline for consultation of 2 March 2018. The Examination in Public commenced on 15th January 2019 and is currently on going. The draft plan is a material consideration in determining applications but is likely to carry little weight until after its examination. Of relevance are:

Policy E4 Land for industry, logistics and services to support London's economic function

Policy E7 Intensification, co-location and substitution of land for industry, logistics and services to support London's economic function

Policy HC5 Supporting London's culture and creative industries

8.5 Other Policy

National Planning Policy Framework 2018 (NPPF)

National Planning Practice Guidance 2016 (NPPG)

Upper Lee Valley Opportunity Area Planning Framework (July 2013)

Edmonton Leaside Area Action Plan (Proposed Submission – January 2017)

Meridian Water Master Plan (July 2013)

Draft London Plan (2018)

9.0 **Analysis**

9.1 This report sets out an analysis of the issues that arise from the proposals in the light of adopted strategic and local planning policies. The main issues are considered as follows:

- Principle of development and land use
- Impact on adjoining occupiers and neighbouring residents including noise
- Traffic, transport and access
- Biodiversity and nature conservation
- Contamination
- Flood risk

9.2 It is important to note that the site is also subject to a New Premises Licence Application under the Licensing Act 2003. The considerations under the Licensing Act differ from those under the Planning Act and are largely related to public safety matters as listed below:

- Prevention of crime and disorder;
- Prevention of public nuisance;
- Public safety;
- Protection of children from harm.

- 9.3 As part of the licensing process a Safety Advisory Group (SAG) has been established that acts as a consultee on the licensing application. This group includes representatives from Transport for London, the Metropolitan Police, the London Fire Brigade and Council services including Transport and Environmental Health.
- 9.4 Should the event go ahead once relevant consents are in place, an Event Liaison Team will be established for the festival itself which will include similar representatives as on the SAG. This will ensure that the event is managed safely and that any adjustments to the management arrangements can be made at the time of the event based on unforeseen impacts or events.
- 9.5 The planning application does not and cannot duplicate the considerations of the Licensing Act in terms of event management and public safety. Whilst the impacts on and capacity of the local and strategic highway for example is a planning consideration, the management of the event at the time is not a matter for the planning application.

Principle and Land Use

- 9.6 Meridian Water is a major regeneration area within the Upper Lee Valley Opportunity Area as identified in the London Plan and Enfield Core Strategy. It is expected to deliver up to 5000 new homes, 1,500 jobs as well as a mix of other uses and infrastructure (CP 37 and 38). Part of the opportunity area is designated as Strategic Industrial Land (SIL) which affords the highest of protection from change of use to non-industrial uses. The site itself is non-designated employment land surrounded by a mix of industrial uses falling within B1c, B2 and B8 uses within an established industrial estate.
- 9.7 Local Policy (DMD22) and London Plan Policy (4.4) seeks to safeguard the stock of industrial land. These policies resist the loss or reduction of undesignated employment land unless it can be demonstrated that the site is no longer suitable and viable for continued employment use. Proposals which meet these exceptions will only be acceptable if they do not compromise the operating conditions for other employment uses or the potential future of neighbouring employment sites. Notwithstanding these considerations, the site is also part of a wider regeneration area which will be comprehensively redeveloped for a mix of business and non-business uses.
- 9.8 The site is currently vacant and given its position within the Opportunity Area is considered an opportune site for temporary use whilst the longer-term regeneration ambitions are realised. Temporary or meanwhile uses can animate sites, create jobs, attract visitors and keep sites secure from fly tipping and anti-social behaviour in the intervening period before development.
- 9.9 As the proposed use of the site for the festival is for a short-term temporary period, it is not considered to prejudice the use of the land for future employment use or

for a mixed-use development including employment space that may come forward as part of a wider parcel of land within the Meridian Water area.

- 9.10 The applicant has estimated that the period of setting up the event, hosting and vacating is anticipated to run from 24th May – 17th June. No intrusive works are proposed to the buildings that would prevent them being used after the event for industrial purposes and all temporary facilities and structures associated with the event will be removed. A condition has been imposed to ensure that the site is vacated and any structures and equipment are removed following the event within a reasonable time period.
- 9.11 The vacant land to the south will have been capped in accordance with the planning approval to ensure it is suitable for the meanwhile uses proposed and would not pose a risk to human health. The capping is a temporary measure to allow the site to be used in the intervening period prior to a more comprehensive redevelopment for which full remediation of the site will be required. The works proposed within this application include the provision of natural grass over the capping layer to provide a more appropriate surface for attendees of the event. While this work would not be reversed, it would not preclude future use of the site for employment purposes and it ultimately increases the flexibility of the land for meanwhile uses.
- 9.12 The adjoining warehouse buildings on the Orbital Business Park are still in active use. These are largely used for storage purposes. However, there is a construction training facility within unit 2 and there are offices and a public access gym in units 7 and 7a. Whilst the festival, given its scale, will cause disruption on the weekend of the event, given its limited duration, it is not considered to prejudice the continued use of the adjoining sites for employment purposes. Any disruption would be of a temporary and short-term nature and could be planned for given the advanced notice of the event. Several road closures will be in place to control access to the event however access for business users to these adjoining businesses and those to the south of Leaside Road would not be disrupted and should they wish to continue operations at the time of the event there is nothing to preclude them doing so, although it is acknowledged that there will a much greater level of activity at the site and in surrounding areas.
- 9.13 As stated above, the site lies within the Council's priority regeneration area which is anticipated to be subject to mixed use redevelopment providing new homes and businesses. The proposed temporary use of this site for the event will not prejudice the longer-term aspirations for the regeneration of the wider area in accordance with Local Plan policies CP37 and CP38.

Impact on Neighbouring Occupiers

- 9.14 The nearest residential units are located approximately 500m to the west of the site on Kimberley Road. Ikea, Tesco, Meridian Way and the railway line are situated between the application site and the nearest residential units. To the south east of the site across Banbury Reservoir lie residential properties in the borough

of Waltham Forest and to the south industrial premises within the London Borough of Haringey.

- 9.15 The main potential impacts from the event on residents are likely to be from noise outbreak and general disruption from the number of people using local roads and public transport facilities to attend the event.
- 9.16 A noise management plan has been submitted with the application which controls the level of noise outbreak from both outdoor and indoor music. The levels have been agreed with the Council's noise officer to ensure that the level of noise, whilst may be audible above background noise levels from residential properties surrounding the site, will not be of a disruptive or detrimental nature. Different levels have also been agreed for daytime and night time music to take account of neighbouring amenity and the reduction in background noise levels.
- 9.17 A condition has been imposed to ensure that the noise management plan submitted with the application is adhered to at the time of the event. The management plan has also been submitted to support the licensing application. Should the event go ahead with both the planning permission and licence granted, any complaints concerning noise received by the Council's out of hours service will be directed to on-site noise officers who can verify the noise levels and compliance with the approved noise management plan. Council officers will be able to liaise with the Event Liaison Team should any breaches of noise levels take place. With these controls and measures in place, the proposal is considered to have an acceptable impact on neighbouring residents.
- 9.18 Given the scale of the event, with up to 25,000 patrons, there will be a marked increase in the use of local transport services and local roads to access the site. This may cause some disruption to users of these services and streets at the time of the main entry and exit from the event. However, the impact will be limited in duration and mitigation measures including management of vehicle drop off and pick up and dedicated pedestrian routes with managed pedestrian flows, will ensure any disruption is minimised and for a temporary period is not considered to have significant harmful impacts.
- 9.19 The directly adjoining businesses were notified of the planning application by letter of the proposals. No responses have been received at the time of report writing. Whilst it is anticipated there may some short-term disruption to business operations within the business park this will be short-term and can be planned for given advance warning of the event. There will be no ongoing prejudice to the continued operation of adjoining businesses as a result of the proposals.

Traffic, Transport and Access

Trip Generation

- 9.19 The information submitted within the Transport Assessment (TA) states that the majority of people entering the site will be on foot and that direct vehicle

- movements are unlikely to be significant in the context of the local strategic highway network.
- 9.20 The applicant has indicated there will be a phased entry by visitors and phased egress albeit with 2 peaks at 22:30-00:30 and 03:00 to reflect the end of the main 'day' and 'night' events programme.
- 9.21 The mode share projections used to inform the TA are based on ticket sales and a customer survey. On the basis of this information it is forecast that the majority of visitors will utilise public transport for the main part of their journey. The information provided shows that this will put a strain on existing infrastructure, in particular Tottenham Hale Underground Station which is expected to be used by 60% of patrons to leave the area.
- 9.22 It is expected that the peak egress from the site will be following the end of the outdoor performances between 22:30-00:30. The estimated clearance of people through Tottenham Hale underground station is projected between 00:15-00:30. 25% are anticipated to use National Rail Services to leave the area. Based on current timetable information it is projected that in a best-case scenario up to 4,000 attendees could clear through Tottenham Hale on Friday 7th June and 6,000 on Saturday 8th June up until service closures at 23:38 on the 7th and 00:17 on the 8th. After this time, attendees will need to enter the underground.
- 9.23 In order to ease the strain on Tottenham Hale National Rail and Underground Services it is anticipated that services from the New Meridian Water Station can also be utilised from those attending the event. The new station is due to open on May 19th and is much closer to the site than Tottenham Hale. Based on provisional timetables provided by Greater Anglia services from Meridian Water could clear 8,500 people by 00:30 on the 7th and 7,000 by 00:30 on the 8th. The applicant is also in discussion with Greater Anglia regarding the provision of a special festival shuttle service that would route directly to Stratford and not stop at Tottenham Hale. Regular mainline services would stop at Tottenham Hale.
- 9.24 Following the last performances within the warehouse buildings the 2nd egress phase would be from 03:00 when no National Rail services would be available. Therefore, those using public transport, estimated at 70% (3,500) of those attending the night time performances, would need to access London Underground services from Tottenham Hale. It is anticipated that in a best-case scenario people from Field Day would clear through the station by 4:30am.
- 9.25 Overall, whilst there are details to be finalised and there remains some concern about the impact of the event on the local transport network, particularly at Tottenham Hale station, this is balanced against the fact that this permission will relate to a single event, which is taking place over a relatively short time period and the extensive planning that has been undertaken to ensure that negative impacts are mitigated as far as possible. This includes the potential provision of a dedicated special shuttle service from Meridian Water and details in the submission which outline people management involving holding crowds and pulsing dispersal so as not to overcrowd the various transport nodes.

Transport Network Disruption

- 9.26 Temporary traffic management arrangements are proposed on a number of roads and at several junctions. The details of this are being dealt with through the licencing process in agreement with the Council's Highway Services Team. However, it is noted that these arrangements include the closure of Meridian Way/ Watermead Way to ensure safe pedestrian access is provided from Tottenham Hale to the site and to restrict private cars and drop off activity taking place other than in designated areas.
- 9.27 These arrangements will have a significant impact on people using the local highway network so the applicant's information campaign and signage proposed are welcome. Whilst this disruption will be significant, it should be noted that it will mainly be during off-peak periods.

Vehicular Access

- 9.28 The proposed vehicular access points are acceptable as they utilise existing accesses which are sized for the type of vehicles servicing the site. The most significant volume of vehicle access will be for large vehicles during set up and dismantling of the event. This is of a similar magnitude to a large development so should not have a significant impact on the existing highway network in the area which is characterised by primary and secondary routes. It should also be noted that any disruption will be short term.
- 9.29 The main private car trips will be during the event, with taxis and similar vehicles dropping people off. Draft plans for this have been shared with the Council's Highways Services which show this activity to be accommodated on the Ikea site. Whilst the final details of this will be agreed through the licensing application a condition has been imposed to ensure safe and convenient drop-off facilities are provided. Given the remote nature of the site, this activity is considered to have a minimal impact on local residents.
- 9.30 The applicant has also taken into consideration the needs of local businesses, many of which operate 24 hours a day, and it is noted that measures will be put in place to minimise disruption, including for the local bus garages. These include managed closures involving staffed road closures/ barriers and access management arrangements with the affected parties to ensure access by operational businesses is still maintained.

Car Parking

- 9.31 There is no visitor parking proposed on site and it has been confirmed that parking controls in local roads will not be in place for the duration of the event. Despite the projections of a low proportion of attendees using cars to access the event this does raise potential issues about overspill parking which could have a significant impact on the local highway network and the amenity of residents.

- 9.32 The current projections provided by the applicant based on previous events suggest that 5% of attendees (1,250) would use Private car/ walk or use buses to get to the event. However, it is also acknowledged that previously the event has taken place in more central areas better served by public transport and greater on-street parking controls and therefore the number of those using private car to access the event is largely unknown on a site of this nature. Notwithstanding this, given the nature of the event, and despite its less central location, it is still anticipated that private car use will be low.
- 9.33 In order to monitor the impact of the event on local roads should future and potentially more regular events be proposed at the site, or further Field Day events be proposed annually yet in a meanwhile context, on-street parking surveys are required to take place (full details of which are to be agreed with the Council's Highway Team) before, during and after the event. This will inform any future event type meanwhile uses at the site and any necessary mitigation that may be required.

Cycle Parking

- 9.34 No details of cycle parking facilities have yet been provided. The applicant is waiting on the results of their customer survey to inform the likely demand for such facilities. An update will be provided at the meeting.

Pedestrian access

- 9.35 Pedestrian points of access to the site will be provided along the southern boundary with Tottenham Marshes and from an existing bridge over the Pymmes Brook accessed from Leaside Way. The points of access are considered acceptable for those patrons arriving from both Tottenham Hale and Meridian Water Station/ local bus services and streets.
- 9.36 An ingress/ egress plan has been submitted with the application to provide further information on the management of pedestrians on the selected routes including the provision of event staff/ stewards. Whilst the safety of the routes including width, lighting and surfacing are a matter for the licencing process, the applicant has confirmed that the ingress will be spread over several hours and naturally staggered by the rate at which trains pull into Tottenham Hale and Meridian Water. Furthermore, the proposed routes have been walked with Highways, the MET Police and the chair of the SAG, to ensure that the responsible authorities are satisfied with the safety of these arrangements.

Biodiversity and Nature Conservation

- 9.37 The site is in close proximity to the Pymmes Brook and the River Lee Navigation which are important ecological corridors. Policy DMD78 states that development that has a direct or indirect negative impact upon important ecological assets will only be permitted where the harm cannot reasonably be avoided, and it has been demonstrated that appropriate mitigation can address the harm caused.

- 9.38 The application is accompanied by an ecological report which identifies that building 9a has a small amount of suitable habitat for individual roosting bats. A further survey is therefore required to confirm the presence or absence of bat roosts in the location identified. This survey has not been completed at the time of writing the report but an update from the applicant is expected prior to the meeting. Members will be updated on the findings.
- 9.39 The site is considered to contain potential nesting sites for Black Redstarts as this species tends to nest in structures or on naturally occurring ledges common to large industrial/ warehouse buildings. Black Redstarts are one of the rarest breeding birds in the UK and as such are listed in Schedule 1 of the Wildlife and Countryside Act 1981. This makes it an offence to disturb this species while nesting, or at or near a nest containing eggs or young or to disturb the dependent young of such a bird.
- 9.40 A survey for breeding black redstarts is therefore required to be carried out to establish whether they are nesting in the buildings. This survey work could not commence until April, the beginning of the nesting season, and as such an update to Members will need to be provided at the meeting. The surveys will be undertaken by a licenced surveyor on behalf of the applicant and will include 4 visits between April and May. Two of these visits will take place prior to the committee meeting and an interim report will be provided to Members at this meeting on the findings to date.
- 9.41 In addition to black redstarts, the buildings have the potential to be used by nesting birds and as such their presence will also need to be established at the same time as the other survey work.
- 9.42 Given the outstanding survey work required in relation to nature conservation and protected species, officers are seeking delegated authority to approve the application following receipt of satisfactory evidence that the proposal would not disturb or have a negative impact on protected species or ecological assets.
- 9.43 The site is located next to the River Lea which is a priority habitat and at this location is part of the SMINC. In order to ensure that the proposal does not have any adverse impacts on the ecological value or character of the SMINC or of the ecological corridor of Pymmes Brook lighting levels will need to be carefully controlled. The applicant has confirmed that deflectors will be used to avoid light spillage onto these sensitive areas and a condition has been imposed to require full details of the position, lux levels and deflectors of the lights used for the event.
- 9.44 The adjoining watercourses are also at risk of microplastic pollution and pollution from litter and waste. In order to reduce the risks of this a condition has been imposed to require a waste minimisation strategy is provided and adhered to as well as a clean up operation which includes the adjoining waterways.

Contamination

- 9.45 The site is subject to contamination which poses a potential risk to human health. A condition has been imposed to ensure the previously approved capping material

- be installed prior to the use of the site for the event. This provides an interim solution to allow for the short term meanwhile use of the site without impacting on human health. The full remediation of the site would be undertaken as part of the longer-term redevelopment of the site.
- 9.46 The Council's contaminated land officer has confirmed that the approved capping material would be sufficient to protect human health and ensure no source pathway receptor linkages.
- 9.47 The EA have been consulted and have raised no objections to the use of the site for the intended purpose subject to conditions to ensure source pathways are not introduced by temporary structures and their fixings.
- 9.48 With the attachment of the suggested conditions, the proposal would be in accordance with Policy DMD64 of the Development Management Documents which sets out that planning permission will only be permitted if pollution and the risk of pollution is prevented, or minimised and mitigated during all phases of development.

Flood Risk and SuDS

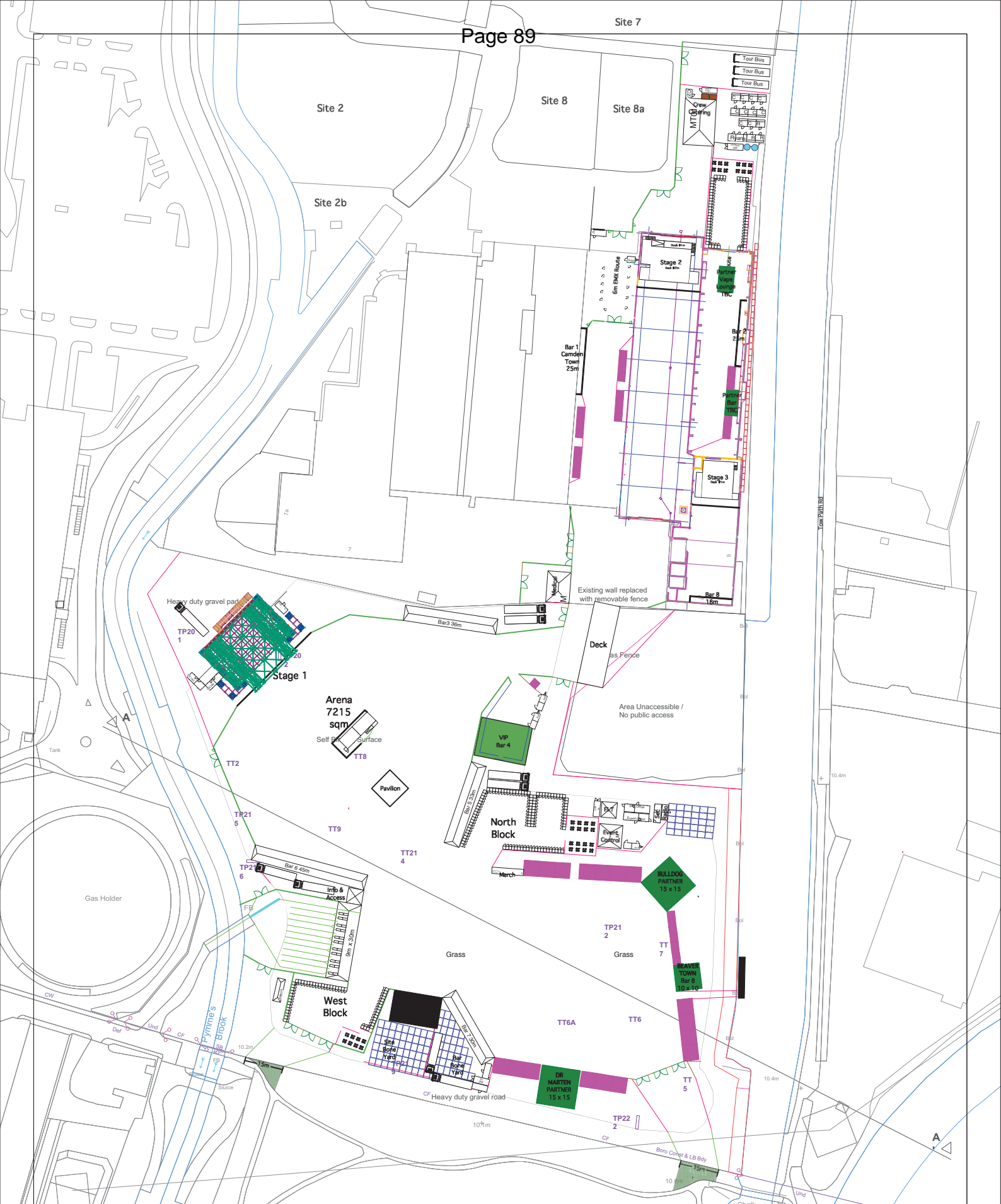
- 9.49 Policy DMD59 states that new development must avoid and reduce the risk of flooding, and not increase the risk elsewhere. Policy DMD61 states that a Drainage Strategy will be required for all development to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 9.50 The application site falls within Flood Zones 2 and 3 and is therefore considered to have a high to medium probability of flooding. The site is also at risk of surface water flooding.
- 9.51 The site currently consists of made ground. However, as previously outlined, the land will be capped prior to the event to ensure existing contaminants do not pose a risk to human health. The approved capping material would be free draining with infiltration characteristics similar to or more permeable than the existing made ground on the site. These details were considered as part of application where it was demonstrated that surface water run-off would continue to infiltrate into the ground with no uplift in the rates of storm water runoff. The supporting information also stated that even during the most severe event modelled, the proportion of the capped area that could be inundated is very small and maximum flood depths would be shallow.
- 9.52 This application includes the provision for natural turf to be provided above the capping material to make the use of the site more amenable to visitors. This will not impact on the drainage properties discussed above and will not increase surface flooding at the site.
- 9.53 The Environment Agency were consulted on the scheme and raised no concerns in terms of flood risk. The EA acknowledged that a flood risk activity permit will be

required for any proposed works in, under, over or within 8 metres of the top of the bank of the River Lee.

- 9.54 A Flood Evacuation Plan has been submitted with the application in acknowledgement that the proposed use of the site is more vulnerable to the impacts of flooding. This plan demonstrates that suitable evacuation routes across the Pymmes Brook exist and would be accessible in the event of a flood. Free access between the buildings and the field would ensure attendees in the buildings could safely exit the buildings and access the flood evacuation routes across the Brook. Meridian Water station is the main destination for people evacuating the site but other options for dispersal exist should this be subject to the same flood event and this would be managed by event stewards.

10.0 Conclusion

- 10.1. The use of the site for the purposes proposed will not undermine the longer-term regeneration proposals for the area and in the meantime will provide a beneficial use of the site. It is recognised that the use could have some short-term disruptive impacts on the local area. These are to be managed and mitigated through the planning conditions recommended. Members are reminded that a Premises License Application has also been submitted and this will deal with issues largely related to public safety. Accordingly, it is considered that the use of the site for the Field Day event can be supported.
- 10.2 There remain a number of outstanding issues that have not been completely resolved at the time of report writing - the ecological surveys need to be completed to inform any mitigation measures that might be required and further information is needed on the proposals for cycle parking at the event. In addition, discussions are on-going with the applicant and the statutory consultees regarding the precise wording of conditions as required by legislation and guidance, which may necessitate minor changes to those presently drafted. Given this, Members are asked to grant delegated authority to the Head of Development Management/Planning Decisions Manager to grant planning permission subject to conditions largely as drafted in Section 1 of this report, with the authority to add any additional planning conditions necessary to secure appropriate mitigation arising from the ecological surveys, as well as make any minor amendments to the wording of the conditions following completion of the on-going discussions.



Issue Number	v2.7
Project ID	FD19
Drawn By	Tom Wilkinson
Project Manager	James Dutton
Project Director	James Dutton
Issue Date	05/04/19
Scale	1:1300 @ A3
Sheet Title	Field Day - Full Site

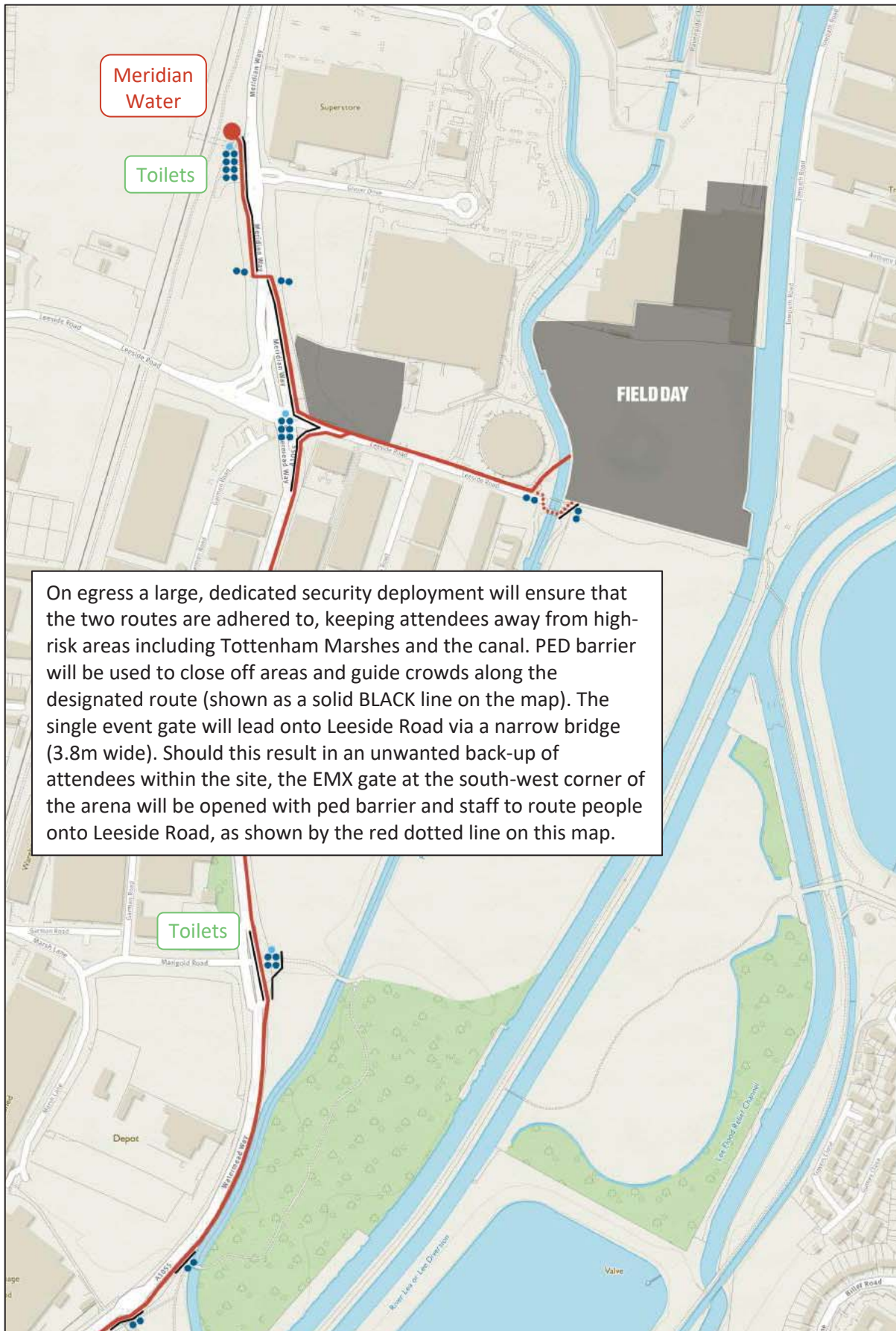
No.	Date	Revision Notes

Client	Field Day 2019
Site Address	The Drum Shed Orbital Business Park Argon Rd London N18 3BW

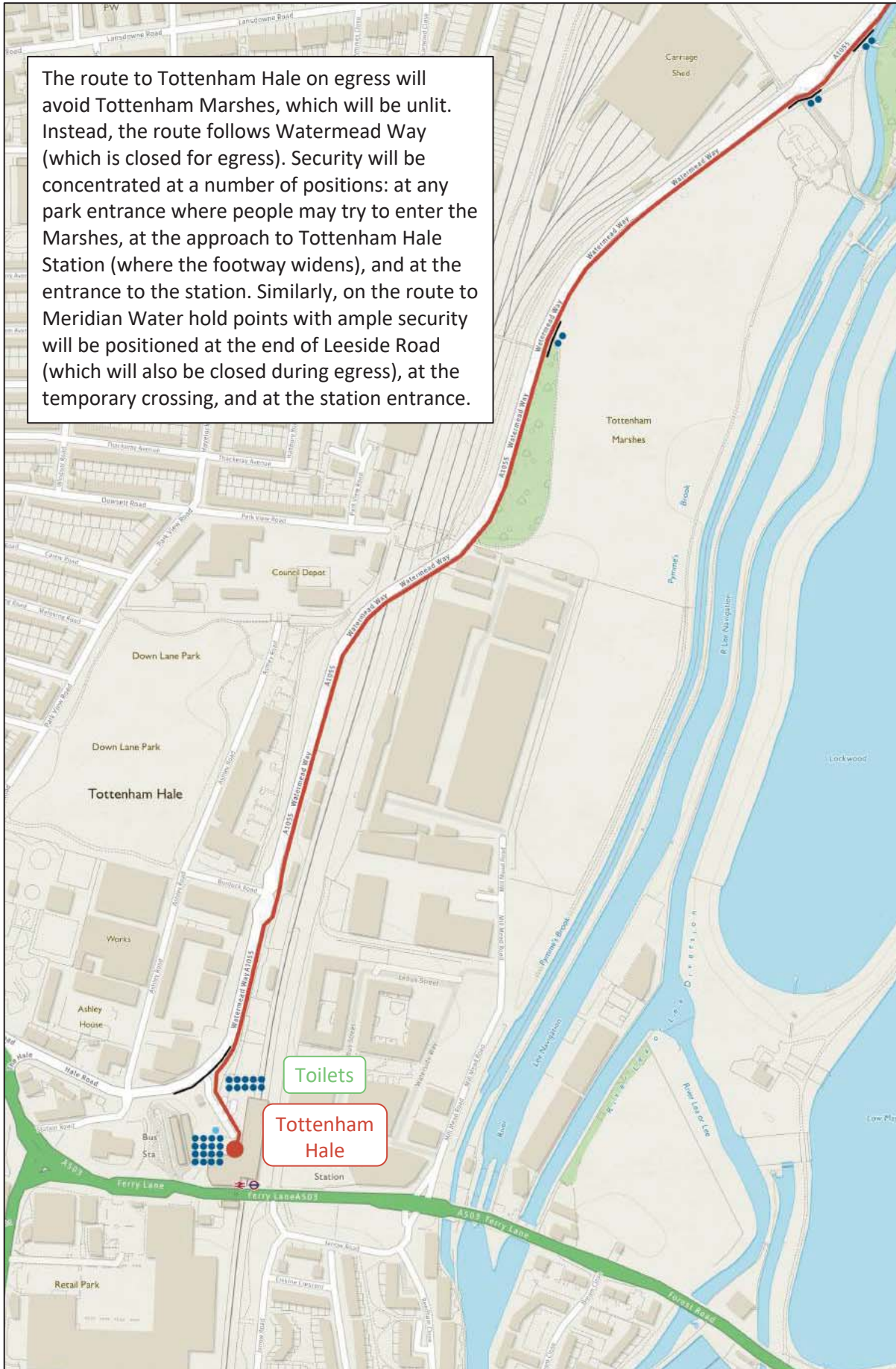
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 - FENCE - MET BARRIER
 - FENCE - STAGE BARRIER
 - FENCE - PEDESTRIAN BARRIER
 - FENCE - SMART HOARD
 - FENCE - HI-HOARD
 - TRAKWAY
 - TRACKMATT
 - PITCH - CONCESSION
 - PITCH - MARKET
 - PITCH - FAIRGROUND
 - PITCH - SPONSOR
 - AREA - OUT OF BOUNDS
 - AREA - INDOOR SPACE
 - AREA - OUTDOOR SPACE
 - SECURITY POINT & EE WIDTH



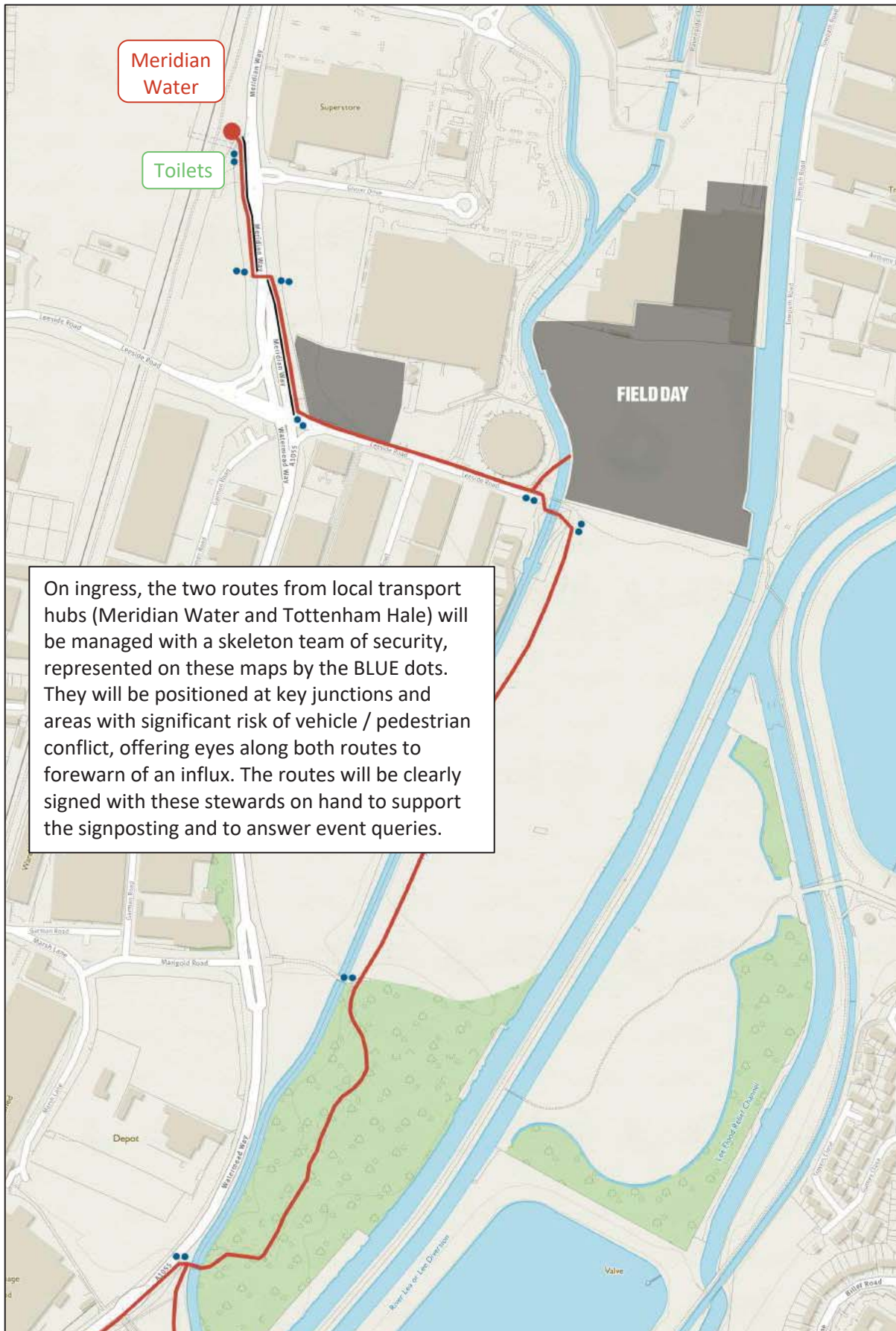
4.4. Egress Routes



The route to Tottenham Hale on egress will avoid Tottenham Marshes, which will be unlit. Instead, the route follows Watermead Way (which is closed for egress). Security will be concentrated at a number of positions: at any park entrance where people may try to enter the Marshes, at the approach to Tottenham Hale Station (where the footway widens), and at the entrance to the station. Similarly, on the route to Meridian Water hold points with ample security will be positioned at the end of Leaside Road (which will also be closed during egress), at the temporary crossing, and at the station entrance.



3.2. Ingress Routes





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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 23 April 2018

Report of

Assistant Director,
Regeneration & Planning

Contact Officer:

Andy Higham Tel: 020 8379 3848
Alex Johnson Tel: 020 8379 4625

Ward: Southgate

Application Number: 18/03590/FUL

Category: Major - All Other

LOCATION: Walker Primary School, Waterfall Road, London, N14 7EG

PROPOSAL: Demolition of existing school buildings and erection of part 1, part 2 storey replacement school building with associated parking, landscaping and erection of temporary classrooms for the duration of the construction.

Applicant Name & Address:

Spatial Initiative Ltd, on behalf of the
Education Skills and Funding Agency
(ESFA)
C/o Agent

Agent Name & Address:

Mr Brian Kavanagh
Nicholas Taylor & Associates
One Brewery Wharf
Waterloo Street
Leeds
LS10 1GX
United Kingdom

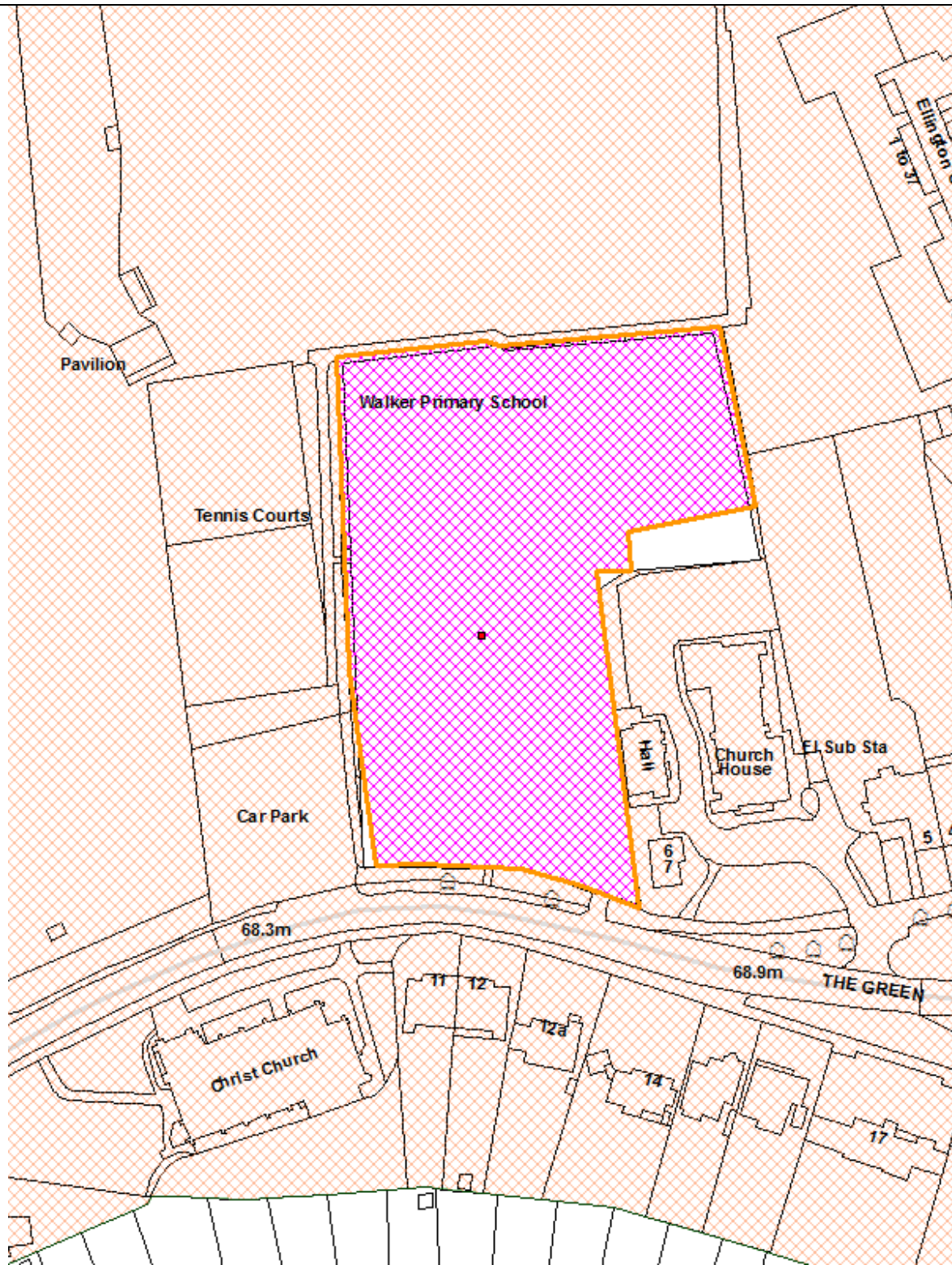
RECOMMENDATION:

That the Head of Development Management/Planning Decisions Manager be authorised to **GRANT** planning permission subject to conditions.

Note for Members:

The application has been referred to Committee for decision in the public interest. This application was previously recommended for refusal due to design and conservation/heritage concerns, however following discussions with officers, the amended design is considered to address previous concerns.

Ref: 18/03590/FUL LOCATION: Walker Primary School, Waterfall Road, London, N14 7EG



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Scale 1:1250

North



1.0 Site and Surroundings

- 1.1 Walker Primary School is a mixed gender Two Form Entry (2FE) Primary School that caters for pupils between the ages of 4-11 years. The current school roll has 420 pupils and 74 staff members (43 full time).
- 1.2 The existing building is sprawled out across the front of the site and ranges from one to two-storeys in height. The building is made up of a mix of brick, painted render and painted timber panelling, all with flat roofs. There is a range of soft and hard landscaping serving the site, with significant trees and hedges, bounding the west, north and south boundaries of the site.
- 1.3 The building is mid-20th century and is sited in the Southgate Green Conservation Area. The building is noted in the Southgate Green Character Appraisal as making '*A negative contribution to the character and appearance of the area, in addition to being an area with potential for improvement*'.
- 1.4 Key views are afforded across the Walker Cricket Ground to the rear of the site and along Waterfall Road, taking in Christ Church, (circa 1862, Grade II* listed), designed by Sir George Gilbert Scott. An immediately neighbouring pair of early 18th century dwellings, No.4 (Essex House) and No. 5 (Arnoside House) The Green (Grade II* listed), Essex Coach House (Grade II listed) and Arnoside Cottage (Grade II listed) are all sited immediately to the east of the site and taken in, in key views to and from The Green.
- 1.5 In relation to site constraints as per the Enfield Core Strategy (2010), the site is located within the Southgate Green Conservation Area, the upper half of the site is designated as Local Open Space (as is the adjacent Walker Cricket Ground), Waterfall Road is a Principal Road and the site is covered by a Tree Preservation Order (LBE Order No.1).

2.0 Proposal

- 2.1 This application proposes the demolition of the existing school and seeks to erect a part one, part two-storey replacement school building with associated parking and landscaping.
- 2.2 The application also proposes the erection of temporary classrooms for the duration of the construction. There are to be situated to the rear of the site and would be two-storeys in height.
- 2.3 Members should note that the proposed new development does not seek to accommodate an increase in the number of pupils at the school, which is to remain the same. The proposal has come forwards to make the school fit for purpose against today's education standards. Regrettably, there is no option to increase the number of pupils because the Education and Skills Funding Agency (ESFA) funding is subject to like for like replacement pertaining to student numbers.

3.0 Relevant Planning Decisions

- 3.1 There are no relevant planning decisions pertaining to the demolition of Walker Primary School and erection of a new building. However, there has been extensive pre-applications in the form of two pre-applications (17/04259/LBEPRE and 18/02713/LBEPRE) and further correspondence between the Agent and the Local Planning Authority, outside of the pre-application service offered.
- 3.2 Members should also note that the latest pre-application was presented to Members of the Conservation Advisory Group (CAG). An indicative version of the current iteration of the proposed development was presented to the CAG in an informal workshop.

4.0 Consultations

4.1 Statutory and non-statutory consultees

4.1.1 LBE Traffic and Transport

The initial comments made by the Senior Transport Officer stated, “*No objections are raised subject to a condition relating to construction management*”. Following these comments, the Agent submitted a Construction Management Plan (CMP) on the 24th October 2018, with the intention of minimising the number of conditions imposed on the application. The Senior Transport Officer has confirmed on 26th October 2018, that no condition would be required since the submission of the CMP specifically regarding Traffic and Transport measures is sufficient and would not result in any unacceptable harm upon traffic flow during the construction phase.

4.1.2 LBE Environmental Health

Initial comments by the Council’s Environmental Health officer stated, “*No objections are raised subject to a condition relating to construction management, specifically regarding dust management*”. The Agent submitted a Construction Management Plan (CMP) on the 24th October 2018, with the intention of minimising the number of conditions imposed on the application. The document has been reviewed by colleagues in Environmental Health who confirm the amendments are acceptable and that no conditions are required to be imposed subject to the works being carried out as per the revised documentation.

4.1.3 LBE Sustainable Urban Drainage (SuDS)

Initial comments by the SuDS officer advised that “*Insufficient information has been submitted to allow a full assessment. However, the details that are outstanding can be secured by way of a condition*”. Following discussions with officers, the SuDS Officer has confirmed the submission is now acceptable and no conditions are required to be imposed. No objection is therefore raised.

4.1.4 Metropolitan Police - Designing Out Crime Officer

The original comment was “*Insufficient information has been submitted to allow a full assessment and thus a condition is required to be imposed*”.

The Officer contact the Agent with regards to the comments, and the Agent has advised the following on the 19th October 2018:

“The school is built to Department for Education specification, so we do not have concerns with such a condition being attached in theory. I will liaise with the Designing Out Crime Officer regarding a meeting and will you informed. Should we not get this matter resolved before the determination date, the client said that they would be content with such a condition to be attached, which can be resolved while demolition occurs. Hopefully it will not come to that however”.

To date, the Agent is in discussions with the Crim Prevention Officer. Any updates regarding this matter will be verbally presented at Committee. Officers note that a secured by design application and award could be secured through the imposition of a planning condition.

4.1.5 LBE Economic Development Officer

Objection initially raised given that no Employment Skills Strategy was submitted, however following discussions with officers, this detail has since been confirmed to be acceptable. No objection is therefore raised in this regard.

4.1.6 LBE Heritage and Conservation Officer

Objection raised in relation to the initial design of the scheme. The proposed development will fail to conserve and enhance the character and appearance of the Southgate Green Conservation Area and will cause less than substantial harm to the setting of several Grade II* and II listed buildings located in the immediate vicinity of the site. This harm cannot be justified in terms of any public benefit that could potentially be delivered by the proposal. The proposed development will not enhance or better reveal the significance of the surrounding heritage assets but act to diminish their significance.

Following significant revisions to the design of the scheme the Council's Heritage and Conservation Officer advised that the proposal had made positive revisions with a suitable material palette that responds to the positive architectural precedents of the Southgate Green Conservation Area and nearby listed buildings.

4.1.7 LBE Tree Officer

Objection raised in initial tree protection measures given the significant positive amenity value of the tree identified in submitted document as T2. Members are reminded that all trees in Conservation Areas are protected.

Following the deferral of this application tree protection measures have been revised and the Council's tree officer advised on the most recent documentation that there is a much better relationship between the tree and the proposed new building. Advised no further objection if the path to be constructed in the landscape area just outside of the root protection area then this would be acceptable.

4.1.8 Southgate District Civic Trust

Objection raised with regard to the initial design. "This was a disappointment to the group who had hoped that a more interesting frontage would have been proposed after the presentation to CAG. There was little change to the previous scheme except that it was now all brickwork. The only part of the design that this group did not totally agree on between themselves was use of rendering on the frontage and that has now been removed. On the rest of the design it was unanimous on considering the frontage as needing some interest, and that does not appear to have been done.

This opportunity to provide a new building in the Conservation Area will create a precedent for future buildings in the CA and needs to be given more architectural character. Although timing for the new school is a possible concern, it would be hoped it could come back to CAG before being given any approval, which is what we thought was going to happen".

With regards to the current iteration the Southgate District Civic Trust have been re-consulted, any comments received will be provided in an update memorandum at committee.

4.1.9 Southgate Green Study Group

Objection raised in relation to the original design. The submission is unacceptable in terms of design, impact to the Conservation Area and views to this important vista have not been taken into account.

Suggestions have been put forward as to how to improve the submission visually and in the interest of the Conservation Area. These suggestions have been largely ignored.

With regards to the current iteration the Southgate Green Study Group have been re-consulted, any comments received will be provided in an update memorandum at committee.

4.1.10 Conservation Advisory Group (CAG)

Objection raised to the initial scheme in relation to the overall standard of design and relationship with the conservation area and heritage assets.

The scheme in its most current iteration has received the support of the CAG in an informal workshop. It was considered that the development had made a more positive response to the character and heritage of the locality. The materials (in particular the glazed brickwork) and as such is now supported by the CAG.

4.1.11 The Greater London Archaeology Advisory Service (GLAAS)

GLAAS have confirmed that they "do not wish to officer any comments to this planning application". As they are the advisory body for archaeological matters, the Local Planning Authority therefore raises no objection to the scheme on archaeological matters and no conditions are required to be imposed.

4.2 Public response

4.2.1 Letters were sent to 248 adjoining and nearby residents, with a response date until the 21st October 2018. In addition, a notice has been displayed at the site (response date until 16th October 2018) and a press notice has been advertised (response date until 17th October 2018). As a result, one (1) response has been received and this raises the following objections:

- There would be harm to the heritage assets by the temporary building and the proposed school building;
- Overlooking the property at 5 The Green by the school;
- Overlooking the property at 5 The Green by the temporary school as well as having an impact on sunlight/daylight and noise; and
- Congestion and parking implications.

The comments received in public consultation are noted by the case officer, the material planning considerations are assessed within the body of this report.

Following revisions to the design of the development and amended tree protection measures adjoining neighbours were re-consulted over a 7-day period to the 17th April 2019. Any comments received from this re-consultation will be provided in an update memorandum for members at the committee meeting.

5.0 Relevant Policy

5.1 London Plan

Policy 3.16	Social infrastructure
Policy 3.18	Education facilities
Policy 5.1	Climate change mitigation
Policy 6.3	Assessing effects of development on transport capacity
Policy 6.9	Cycling
Policy 6.10	Walking
Policy 6.13	Parking
Policy 7.1	Building London's neighbourhoods and communities
Policy 7.2	An inclusive environment
Policy 7.4	Local character
Policy 7.5	Public realm
Policy 7.6	Architecture
Policy 7.8	Heritage Assets and Archaeology
Policy 7.19	Biodiversity and access to nature
Policy 7.21	Trees and woodlands

5.2 Core Strategy

CP8	Education
CP9	Supporting community cohesion
CP20	Sustainable energy use and energy infrastructure
CP21	Delivering sustainable water supply, drainage and sewerage infrastructure
CP30	Maintaining and improving the quality of the built and open environment

CP31 Heritage
CP34 Parks, playing fields and other open spaces
CP36 Biodiversity

5.3 Development Management Document

DMD 16	Provision of New Community Facilities
DMD 17	Protection of Community Facilities
DMD35	Achieving high quality and design led development
DMD37	Achieving High Quality and Design-Led Development
DMD38	Design Process
DMD 44	Heritage
DMD45	Parking Standards and Layout
DMD 47	Access, New Roads and Servicing
DMD 48	Transport Assessments
DMD 50	Environmental Assessment Methods
DMD 51	Energy Efficiency Standards
DMD 59	Avoiding and Reducing Flood Risk
DMD 61	Managing Surface Water
DMD 65	Air Quality
DMD 68	Noise
DMD 69	Light pollution
DMD 71	Protection and Enhancement of Open Space
DMD 80	Trees on Development Sites
DMD 81	Landscaping

5.4 Other

National Planning Policy Framework (2018)
Planning Practice Guidance
The Town and Country Planning Act (1990)
Planning (Listed Buildings and Conservation Areas) Act (1990)
Southgate Green Conservation Area Character Appraisal
Southgate Green Conservation Area Management Proposals
Section 106 Supplementary Planning Document (SPD)
Enfield Characterisation Study

6.0 Analysis

Principle of Development

6.1 *New school building*

The proposed demolition of the existing school and the erection of a new school building is not to increase number of pupils within the Borough, where there is an acute need. The new school building is to ensure that pupils and staff are provided with modern teaching facilities which meet national teaching standards. There would be no increasing pupil numbers due to the restrictions placed on the funding requirements by the ESFA which is acknowledged by the Council. Meeting these facilities and standards is a recognised consideration and there is currently a presumption in favour of allowing such development unless material circumstances dictate otherwise, for example, impact on the Conservation Area, impact to the setting of Listed Buildings and impact to protected trees. These matters are discussed within the body of this report.

Local Open space

- 6.2 The application site is designated as Local Open Space in the Core Strategy (2010). The new school building is to be built largely within the fabric of the built development. albeit will be moved further forward on to the site closer to Waterfall Road. The main playgrounds and surrounding soft landscaping are still being retained. In this regard, no objection is raised to this element of the scheme due to the long-term retention of this space. It is prudent to note that although the temporary classrooms are being built on a currently open area they will be removed once the school building has been built. This can be secured by way of a condition ensuring their phased removal once the school has been erected. The submission also confirms their immediate removal, mainly pertaining to financial reasons. Although the local open space will be temporarily no longer be open, this is only for a short period and it is considered that this, on balance, is acceptable for the delivery of the final school building.

Heritage and design

National Background Legislation

- 6.3 Section 72 of the Town and Country Planning Act (1990) requires the Council to pay 'special attention to the desirability of preserving or enhancing the character or appearance' of a conservation area. In addition, Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act, 1990 requires that 'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'.
- 6.4 Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act, 1990 requires that 'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its

setting or any features of special architectural or historic interest which it possesses'. 'Preserving' in this context means doing no harm (as explained by the HL in *South Lakeland DC v S of S* [1992] 2 AC 141 at p.150).

Local Plan Context

- 6.5 Development Management Document policy DMD44 states the following, 1.) Applications for development which fail to conserve and enhance the special interest, significance or setting of a heritage asset will be refused; and 2.) The design, materials and detailing of development affecting heritage assets or their setting should conserve the asset in a manner appropriate to its significance.
- 6.6 Development affecting the significance of an asset may include, but is not limited to: the introduction of new structures/objects; alterations; complete or partial demolition; removal of buildings/features or parts thereof; the introduction of signage or advertisements; changes of use (including the use of open spaces); subdivision or fragmentation; changes to landscaping; the removal of built or landscape features or parts thereof; or any other form of development which fails to conserve and enhance the asset or its setting. The setting of an asset is not limited to its curtilage and is defined as the physical and non-physical environment in which the asset is experienced, including consideration of views to and from the asset, noise, dust and vibration, spatial associations and the historic relationship between places. Applicants for development affecting heritage assets are encouraged to use design and construction professionals with appropriate heritage expertise.
- 6.7 Enhancement of a heritage asset can take many forms, including, but not limited to: restoration, repair, removal of inappropriate development, increasing access, increasing visibility, increasing the educational value, conversion to a more appropriate use or enhancement of the asset's setting. Only in rare instances will there be no opportunity for enhancement.

Impact on the setting of Grade II and Grade II Listed church and dwellings*

- 6.8 In the immediate vicinity of the setting of the site are numerous Grade II* and Grade II Listed buildings which include Christ Church, Arncliffe Cottage, Arncliffe House, Essex House, Forecourt and Railings at Arncliffe House, Essex House and Essex Coach House.
- 6.9 The setting of an asset is not limited to its curtilage and is defined as the physical and non-physical environment in which the asset is experienced, including consideration of views to and from the asset, spatial associations and the historic relationship between places. The predominant guidance on development within the setting of heritage assets is contained within the Historic England document *The Setting of Heritage Assets* (2015). It is largely acknowledged that in large cities views and settings will often evolve more rapidly than elsewhere. Good design of new development within the settings of historic assets is therefore essential if their significance is to be retained or enhanced.

- 6.10 The proposed scheme in its amended version is considered to have made a positive design response that respects and enhances the setting of the Grade II* listed church and that of the surrounding Grade II and II* listed dwellings, which together form the original historic settlement in the Southgate Green Conservation Area. Officers acknowledge that the current post 1950s school building detracts from the setting of the surrounding listed buildings, officers however maintain that any replacement building must seek to enhance their setting and be of an exceptionally high standard of design, particularly in terms of its architectural form and materiality. Following detailed post-submission design discussions, subsequent amendments have been received which are considered to have made positive revisions to the original scheme which addresses the previous concerns regarding the quality of the design and the impact on the surrounding heritage assets. The development is now considered to make a positive design contribution to the character and appearance of the conservation area and surrounding listed buildings.

Impact on Southgate Green Conservation Area

- 6.11 The introduction of new structures and alterations are all cited as development affecting the significance of a heritage asset. There are many examples of buildings in a Conservation Area, some of which are award winning, that are designed to a high quality that make a positive contribution to the conservation area and ensure that the Conservation Area is enhanced for which are considered to provide a positive precedent that future development in the Southgate Green Conservation Area should use for design inspiration. While the original submission was not considered acceptable in design terms, the amended development is now considered by officers to have made positive revisions from the previous iteration of the development
- 6.12 The proposal has been revised from its previous generic, modular build like design to a more site-specific design led approach that takes positive design inspiration from the surrounding locality. The proposal seeks a part one, part two-storey flat roof line building constructed primarily of yellow brickwork which is considered to build upon positive design precedents in the locality with reconstituted stonework. The proposed massing and bulk of the building is broadly considered acceptable at this location when considered against the height and mass of the existing buildings to be demolished. The proposal also seeks for the front elevation to utilise integrated signage displaying the school name which is considered to be subtle and also relate well to the main building without harming the built heritage and highway safety given the signage is non-illuminated.
- 6.13 The proposal incorporates dark green glazed brickwork, bronze PPC aluminium windows and reconstituted stonework. Officers note that the materials proposed to be used are of a robust and durable nature with suitable degrees of variation in tone and texture that take positive design inspiration from the surrounding historical built environment. The materials have been submitted as samples to the Council prior to the determination of this application at committee. The samples have been appraised in detail with the Council's Heritage Officer and deemed to be of a sufficient quality for the works sought and also respond positively to the local heritage of the Southgate Green Conservation Area and nearby listed buildings. It is noted that full detailed specifications of the window

detailing, and reveals have not been submitted for consideration. It is however acknowledged that these details could be submitted through a planning condition.

- 6.14 The development of a high-quality landscaping scheme is also considered essential to creating a positive setting to the building, in addition to grounding it in this semi-rural environment. The employment of a green frontage with a boundary treatment that is characteristic of the semi-rural character of the Conservation Area. The proposal shows indicative landscaping which is broadly considered acceptable, it is recommended that full details are secured through a planning condition to secure high quality landscaping is delivered on site given the semi-rural character of the surrounding locality and its heritage value.
- 6.15 In summary officers consider that the proposal in this current iteration has made positive revisions in relation to the form, appearance, massing and materiality. The proposal is considered to make a positive architectural contribution to the character and appearance of the Southgate Green Conservation Area. As such the design elements of the proposal (subject to the imposition of suitably worded conditions) and would preserve and enhance the character and appearance of the Southgate Green Conservation Area and surrounding listed buildings.

Potential Heritage Harm

- 6.16 Any development proposal will result in some form of impact. An “impact” is not necessarily harmful. Paragraph 132 of the NPPF confirms that it is the significance of the heritage asset upon which a development proposal is considered and that “great weight should be given to the asset’s conservation”. Where a development will lead to less than substantial harm, the harm is to be weighed against the public benefits of the proposal, including securing its optimum viable use.
- 6.17 Case law has established (*Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council* [2014] EWCA Civ 137) that where an authority finds that a development proposal would harm the setting ... or the character and appearance of a conservation area, it must give that harm “considerable importance and weight”. Moreover (*Forge Field Society & Ors, R v Sevenoaks District Council* [2014] EWHC 1895 (Admin)) where there is a finding of harm there is a strong presumption against planning permission being granted.
- 6.18 It is considered that the proposed development by reason of its massing, materiality, appearance and associated landscaping would not cause unacceptable harm to the character and appearance of the Southgate Green Conservation Area and will cause less than substantial harm to the setting of several Grade II* and II listed buildings located in the immediate vicinity of the site given the acceptability of the design and associated landscaping.
- 6.19 Officers have also had due regard to the public benefit that the development would provide in delivering modern education facilities for pupils in Enfield and consider that any less than substantial harm that may arise is on balance offset by this vast public benefit that the development would deliver.

Trees Protection

- 6.20 Policy DMD80 of the Enfield Development Management Document states that all development including: subsidiary or enabling works that involve the loss of or harm to trees covered by Tree Preservation Orders, or trees of significant amenity or biodiversity value, will be refused. All development and demolition must comply with established good practice, guidelines and legislation for the retention and protection of trees. Proposals must a). Retain and protect trees of amenity and biodiversity value on the site and in adjacent sites that may be affected by the proposals; and b). Ensure that the future long-term health and amenity value of the trees is not harmed. Works to trees covered by a Tree Preservation Order or trees situated within a Conservation Area must ensure the long-term health of the tree and retain and enhance amenity value to the locality. Works must comply with current arboricultural best practice, guidelines and legislation.
- 6.21 Following the deferral of this item since the December 2018 committee, the Council has worked with the applicant to overcome concerns in relation to concerns that the development may have upon protected trees on site, with particular regard to the mature oak tree identified as T2.
- 6.22 This tree (T2) is large and of significant amenity value, highly visible and prominent in the street scene and currently occupies a reasonably large area of soft landscaped area, its roots have been allowed to grow relatively unimpeded or disturbed. It is perhaps the most important tree on the site and has the potential to be a significant amenity feature for several centuries.
- 6.23 A revised tree protection plan (D7144.01) produced by The Environment Partnership which proposes a new position and location of the proposed new school building which sets the block away from the root protection area. The revised positioning is considered to allow for a more suitable relationship between tree T2 and the new building, comments in support by the Council's Tree Officer are also noted by the case officer.
- 6.24 The proposed development with respect to tree considerations is considered to have made positive revisions to safeguard protected trees on site through the revised positioning of the building which would be away from the root protection area of tree T2. As such it is considered that the proposal makes appropriate provisions to protect trees on site and has successfully overcome previously identified tree concerns. As such the proposed development is considered to be acceptable in this regard.

Traffic and Transport

- 6.25 The site is situated within a public transport accessibility level (PTAL) 2 location which indicates not very good access to public transport services. Waterfall Road is a Principal Road and is known to be well used. In terms of access into and out of the school, this will remain the same. Members should note that there was a recent project on the site regarding the means of enclosure to the front which has been designed to enhance the Conservation Area. This project was managed by the Heritage Team at

the Council and is seen as a positive frontage in the Conservation Area and will be retained as part of the scheme.

- 6.26 Parking provision will remain as existing. There is no parking for dropping off pupils but there are two staff parking spaces retained as well as two disabled parking spaces. As this reflects the existing provision there are no objections to parking provision. The parking layout is similar to existing, and tracking drawings included in the Transport Assessment (TA) confirm vehicles can access and egress safely in a forward gear. It is prudent to note that servicing will take place within the car park and a swept path submitted in the TA confirms delivery and service vehicles can access and agrees in a forward gear on to the Principal Road (Waterfall Road).
- 6.27 A positive attribute of the scheme is that the pedestrian access will be improved through provision of a new access to the west of the site. Another positive attribute of the site is that cycle parking will be increased and now will be in line with London Plan requirements. The storage for these spaces would now be secure and covered which is welcomed.
- 6.28 Whilst it is acknowledged that a resident raised concern regarding the traffic and transport implications of the school, it is noted that the proposal is not increasing the number of pupils so the impact of the proposal would be commensurate with the existing school use. Whilst a new school building does provide the opportunity to improve drop off/pick up it is acknowledged that the application site is highly constrained. The provision of drop off/pick up facilities would impact the Conservation Area but also the trees on the site which are protected by being in the Conservation Area. It is noted that appropriate tree protection measures have been submitted and are considered acceptable by the Council's Tree Officer.

Employment and Skills

- 6.29 There is a requirement for an Employment and Skills Strategy in accordance with the provisions of the Enfield Section 106 SPD (2016). The Council is committed to maximising the number and variety of jobs and apprenticeships available to residents of the borough and maintaining and encouraging the widest possible range of economic activity, including the availability of a skilled labour force. To this end, the Council will seek agreement with developers to secure appropriate planning obligations for employment and training initiatives as part of development proposals the Council is committed to maximising the number and variety of jobs and apprenticeships available to residents of the borough and maintaining and encouraging the widest possible range of economic activity, including the availability of a skilled labour force. The Council will seek agreement with developers to secure appropriate planning obligations for employment and training initiatives as part of development proposals.
- 6.30 In the interest of being positive and pro-active, aiming to avoid any s106 agreement which might further delay the development, the Local Planning Authority, together with the Council's Economic Development Officer, agreed that an Employment and Skills Strategy in accordance with the provisions of the Enfield Section 106 SPD, could be secured through a planning condition.

Sustainability and Biodiversity

- 6.31 Members should note that the site is not situated in a flood zone but would still require the provision surface water run off through sustainable measures. The scheme fell short on sustainable urban drainage (SuDS) measures, however, since have been updated and now, no objection is raised by the SuDS Officer and no conditions are required to be imposed.
- 6.32 The Enfield Development Management Document has adopted sustainability policies which require non-residential proposals to provide energy saving measures. The submitted Energy Statement admits that there will only be an 8% improvement measured against Building Regulations and does acknowledge that the scheme will not be moving towards zero carbon by 2019, which is required by London Plan standards. This in itself is disappointing, but measures have been put forward by the applicant that on balance would offer some comfort to the Local Planning Authority that some efforts have been advanced regarding energy efficiency measures.
- 6.33 The submitted Ecology Survey demonstrates that the building has low potential to harm any protected species, particularly regarding bats. The moderate potential for roosting bats are in trees. The report concludes that further inspection is required of these trees. A Bat Report has been submitted with suggestions regarding bat roosting and the trees. The mitigation measures suggested are considered to be sufficient subject to these being implemented on site. The onus of implementation on site would be the responsibility of the applicant and not the Local Planning Authority and thus duty of care has been discharged subject to a condition being imposed should this application be approved.

Archaeology

- 6.34 The Greater London Archaeology Advisory Service (GLAAS) have been consulted on this application and no comment has been received.

Impact on neighbouring properties

- 6.35 The proposed school building is situated further forward on the site. Given the current siting of the building, and the proposed siting of the building, it is considered that no additional harm would be caused by the building in terms of sunlight, daylight, privacy or outlook.
- 6.36 With regards to the temporary classrooms, the majority of the building is situated to the north east of the site and would be two storeys in height. The majority of the building would be 35m away from the rear elevation of Ellington Court, which has recently had an additional storey constructed to it, however it is considered that this is a sufficient distance to ensure that there is no undue impact to these residents from their habitable accommodation. To the rear of Ellington Court is an amenity area, whilst the temporary classrooms would be directly abutting the boundary with Ellington Court, it is considered that as this is a temporary measure, the harm caused to the existing amenity would be negligible and on balance acceptable.
- 6.37 It is acknowledged that part of the temporary classrooms would overlook the very rear of the garden serving 5 The Green, as they would be

situated to the side of the shared boundary. The depth of the garden serving the property is some 68m. Three windows on the upper floor flank elevation serving a class room would look into the rear garden of 5 The Green. It is considered that a pragmatic stance needs to be taken regarding the potential for overlooking from these windows. Firstly, the building will be temporary and thus not a permanent addition on the site. Further, the existing garden is substantially long at 68m and with 9m of that being overlooked by the windows in terms of proportionality, then the immediate amenity space would not be impacted upon, which is generally directly outside of dwelling house. Furthermore, the classrooms will only be used during the day, during school hours. Finally, the temporary classrooms are situated to the side of the and thus in terms of direct views into the dwelling house, there would be none.

- 6.38 In this regard, it is considered that the potential harm caused to the amenity of number 5 The Green would be minimal and is considered negligible. In this regard, no objection is raised. Should members be minded approve the application, then a condition could be imposed to ensure that the classrooms are removed in phases based on the development of the school building.

7.0 Conclusion

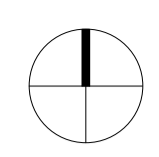
- 7.1 The application has been recommended to be granted subject to conditions. This proposed development seeks to ensure that pupils and staff are provided with modern teaching facilities which meet national teaching standards.

- 7.2 It is considered that the development has made positive revisions since the deferral of this item from the December 2018 Planning Committee. The proposal is considered to have made positive design revisions that would respect the character and appearance in the Southgate Green Conservation Area and surrounding listed buildings. It is also considered that the proposal would not result in any unacceptable transportation impacts or harm upon neighbouring amenity. The proposal has also made positive revisions to provide appropriate protection for trees on site. In light of the above it is recommended that planning permission is granted subject to conditions in this instance.

8.0 Recommendation

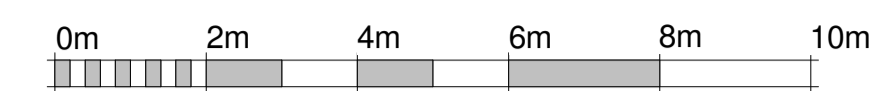
- 8.1 That planning permission be **GRANTED** subject to conditions:

- 3 Years
- In Accordance with Approved Plans (Materials, SuDS, Construction Plan)
- Employment and Skills Strategy
- BREEAM
- Phasing/ Temporary Classrooms
- Landscaping

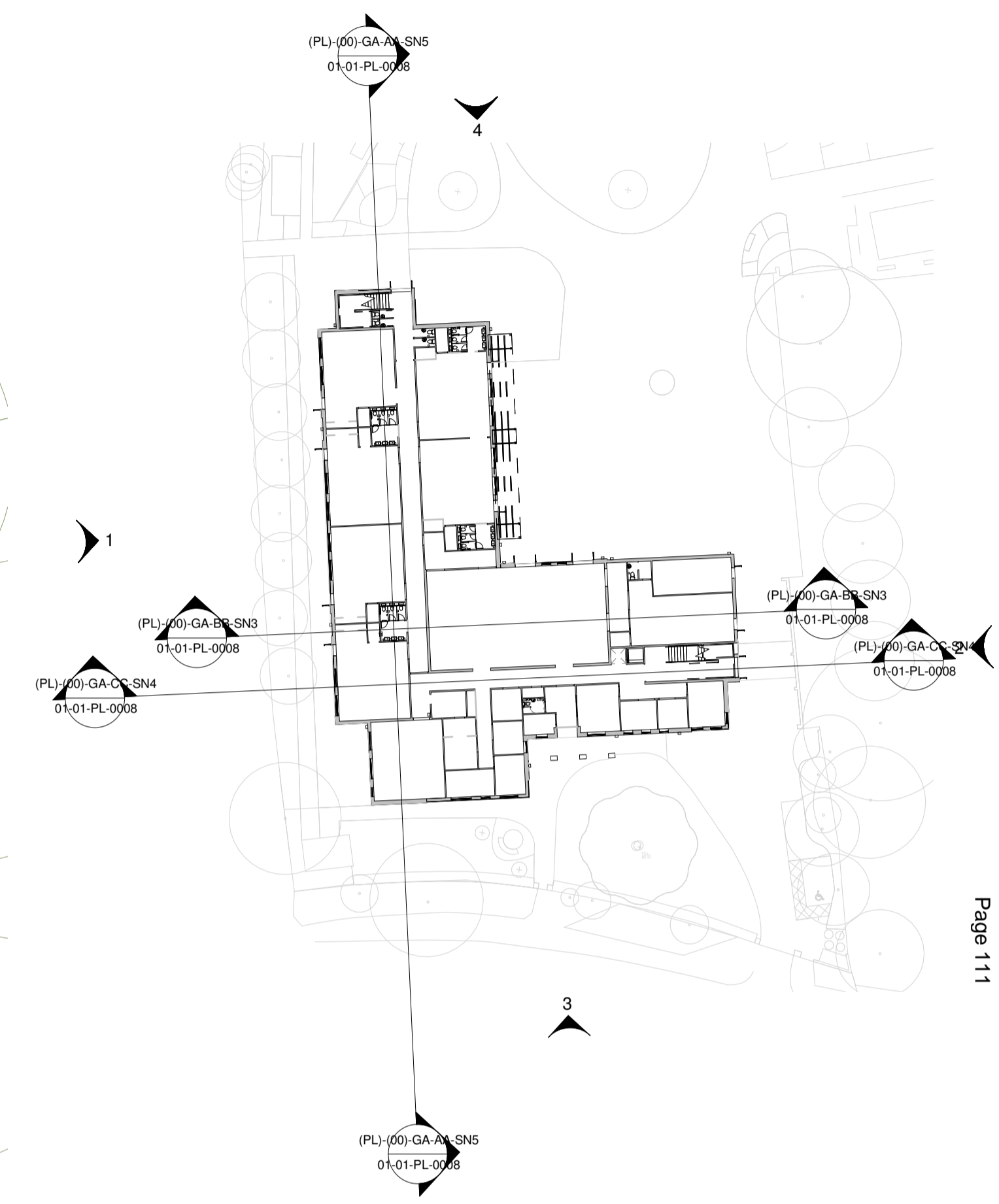


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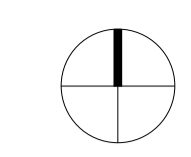
P1	First Issue	05.04.2019	EG	AM
Rev	Description	Date	Drn By	Chk By

jmarchitects

Project: Walker Primary School
 Title: Proposed Ground Floor Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1:100 @ A1

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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-00-DR-A-PL-0005	S2	P1

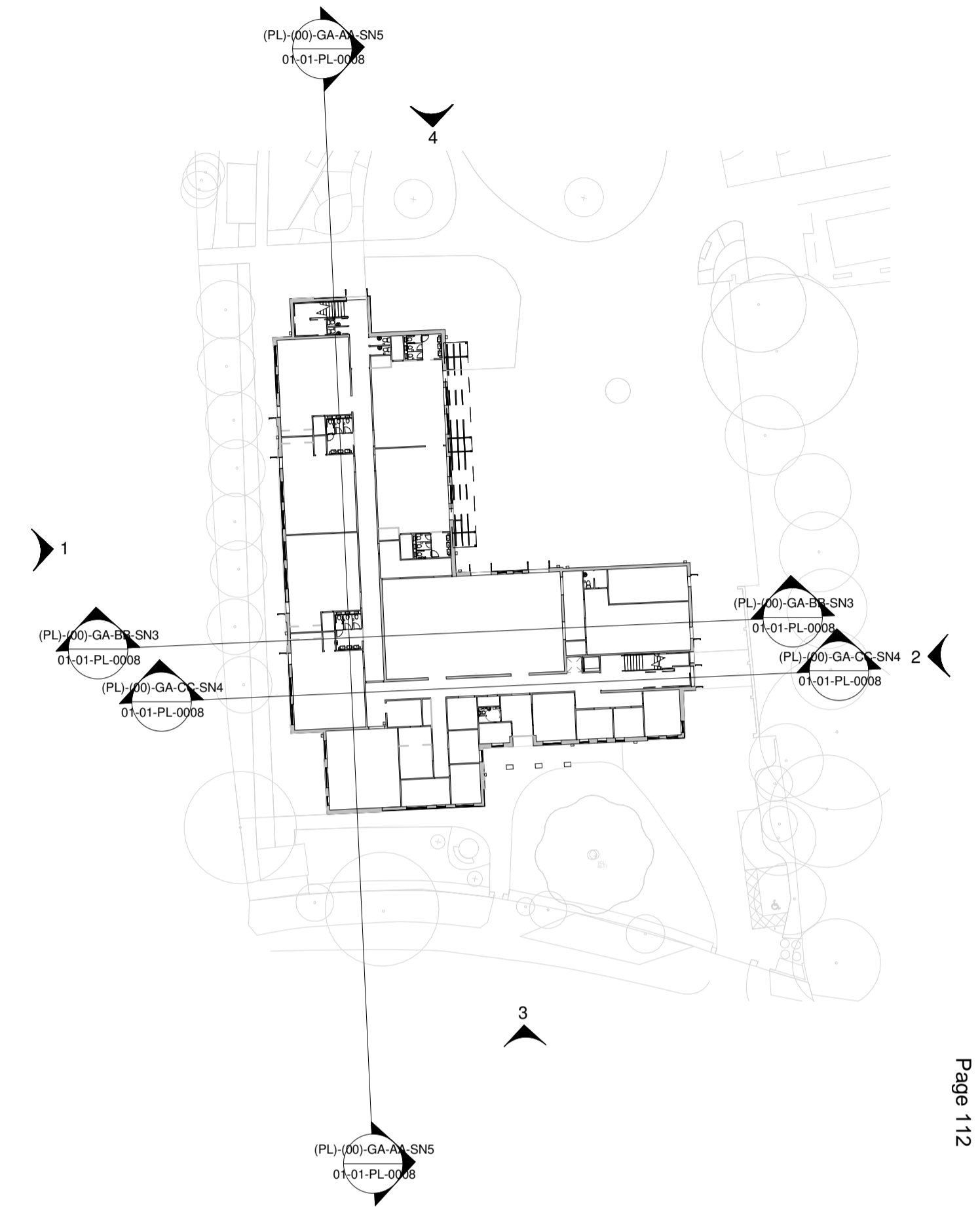
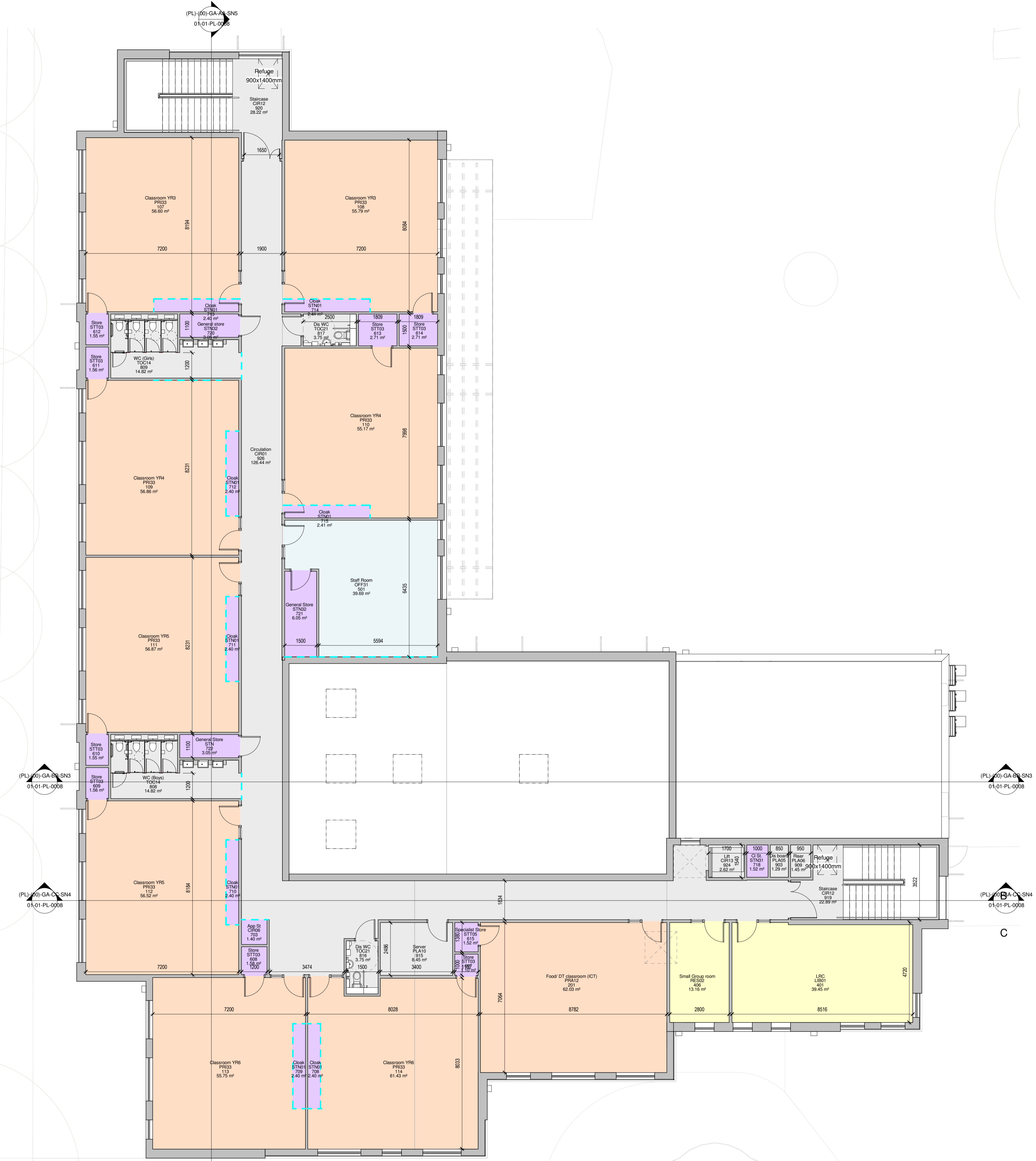


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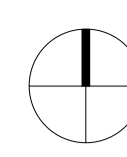
P1	First Issue	05.04.2019	EG	AM
Rev	Description	Date	Drn By	Chk By

jmarchitects

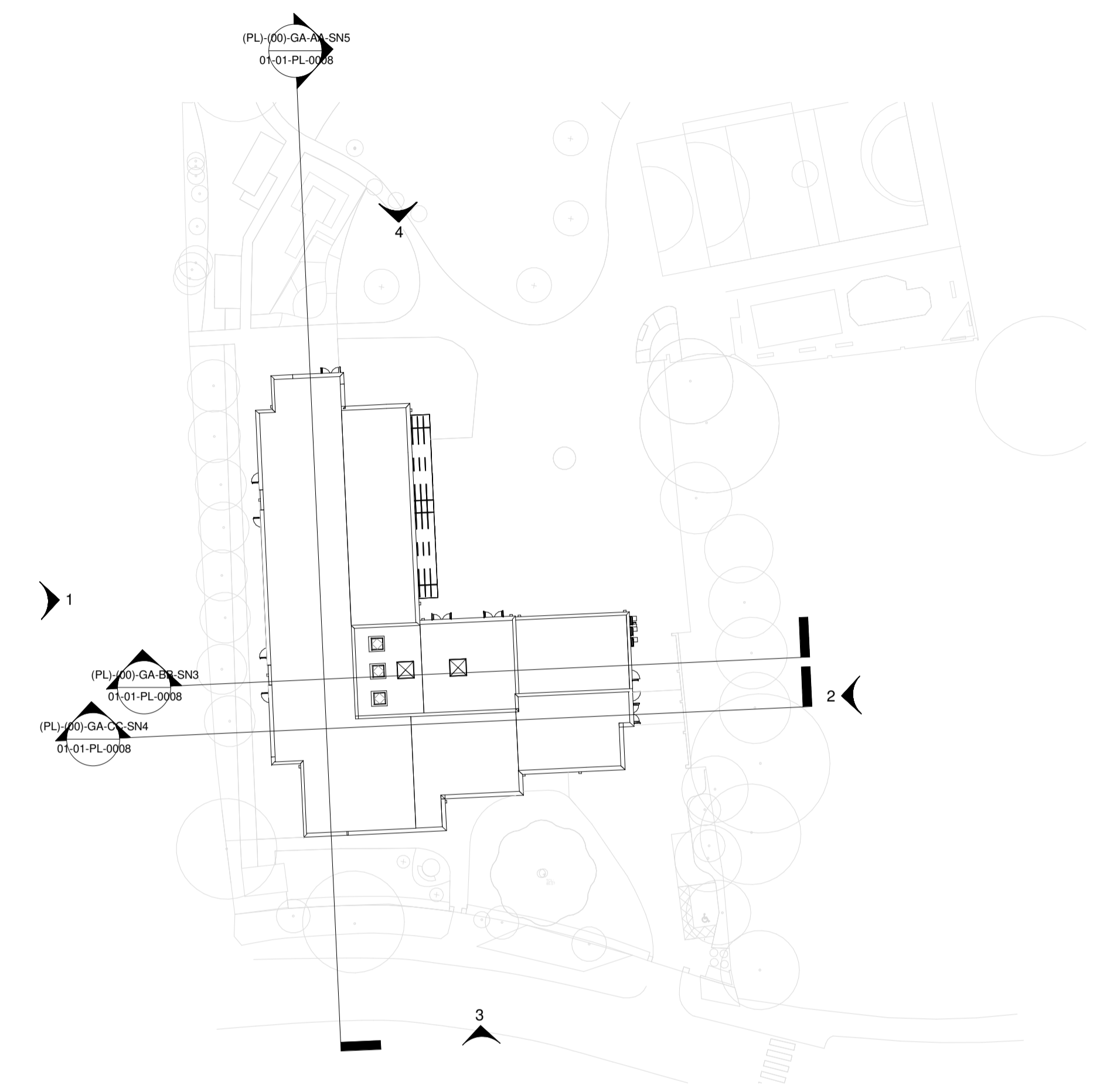
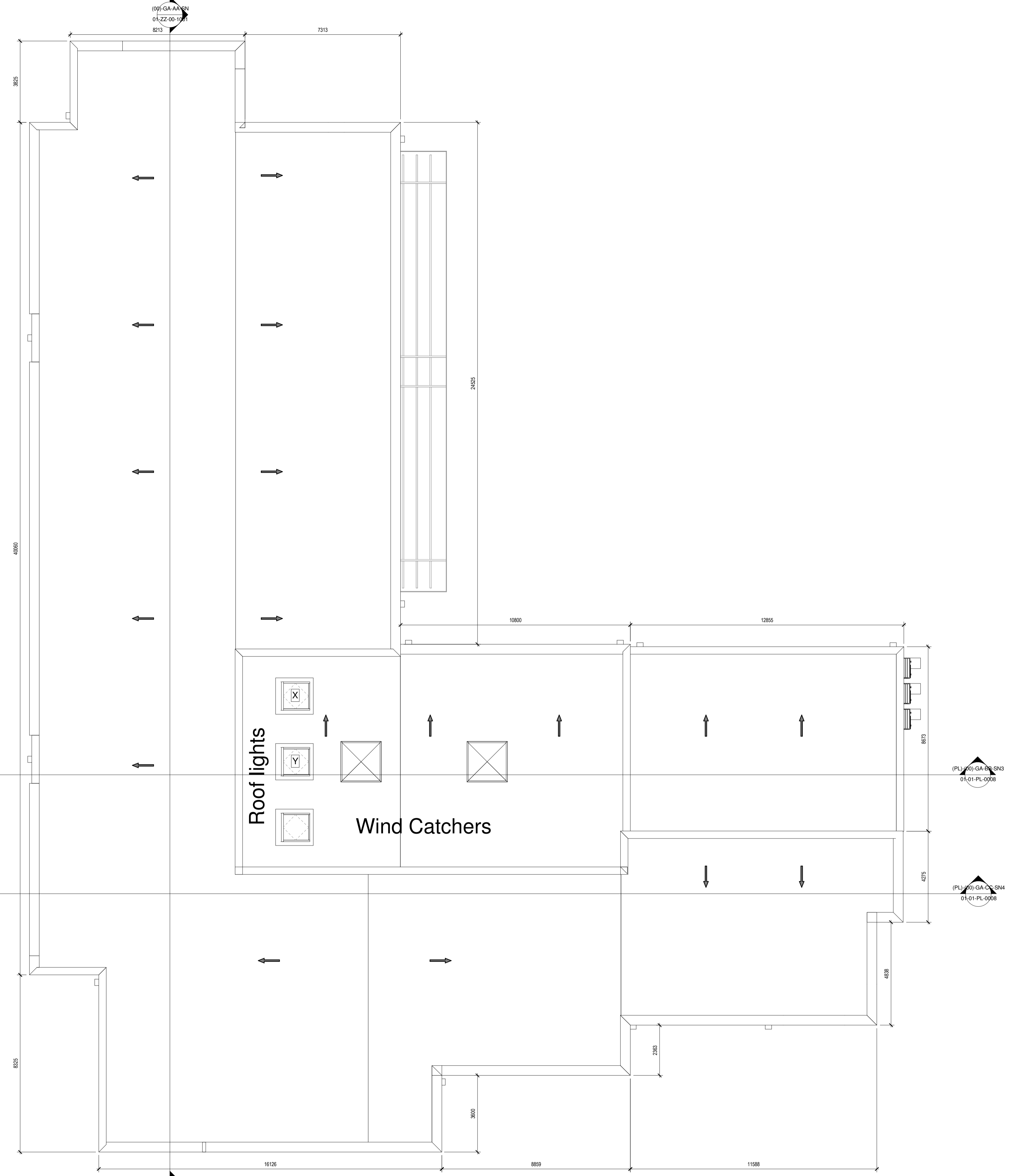
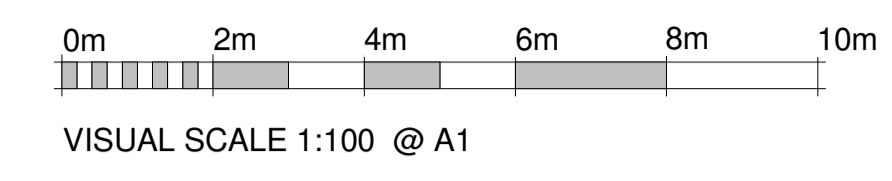
Project: Walker Primary School
 Title: Proposed First Floor Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1:100 @ A1

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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-01-DR-A-PL-0006	S2	P1



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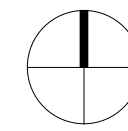
2 (PL)-(00)-GA-02-FP
 1 : 100

P1	First Issue	05.04.2019	EG	AM
Rev	Description	Date	Drn By	Chk By



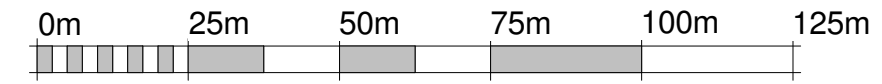
Project: Walker Primary School
 Title: Proposed Roof Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1:100 @ A1
 Drawing Number: 102007-JMA-01-02-DR-A-PL-0007
 Status: S2
 Revision: P1

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VISUAL SCALE 1:1250 @ A1



1 (PL)-EX-(00)-Location_Plan-FP
1 : 1250

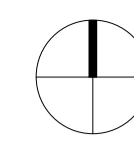
P1 First Issue	05.04.2019	JT	AM
REV DESCRIPTION	DATE	DRN BY	CKD BY

Project Walker Primary School
Title Location Plan
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning Application	Scale : 1 : 1250@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number	S2 P1
102007-JMA-01-ZZ-DR-A-PL-0001	



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0m 5m 10m 15m 20m 25m
 VISUAL SCALE 1:250 @ A1



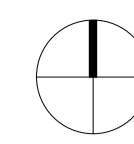
1 (PL)-(00)-GA-site-FP
 1 : 250

P1	First Issue	05.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By

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Project: Walker Primary School
 Title: Proposed Site Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1 : 250 @ A1
 12 Great Portland Street
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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-0002	S2	P1



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0m 10m 20m 30m 40m 50m
 VISUAL SCALE 1:500 @ A1



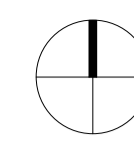
1 (PL)-EX-(00)-Existing Block Plan-FP
 1 : 500

P1	Final Issue	05.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By

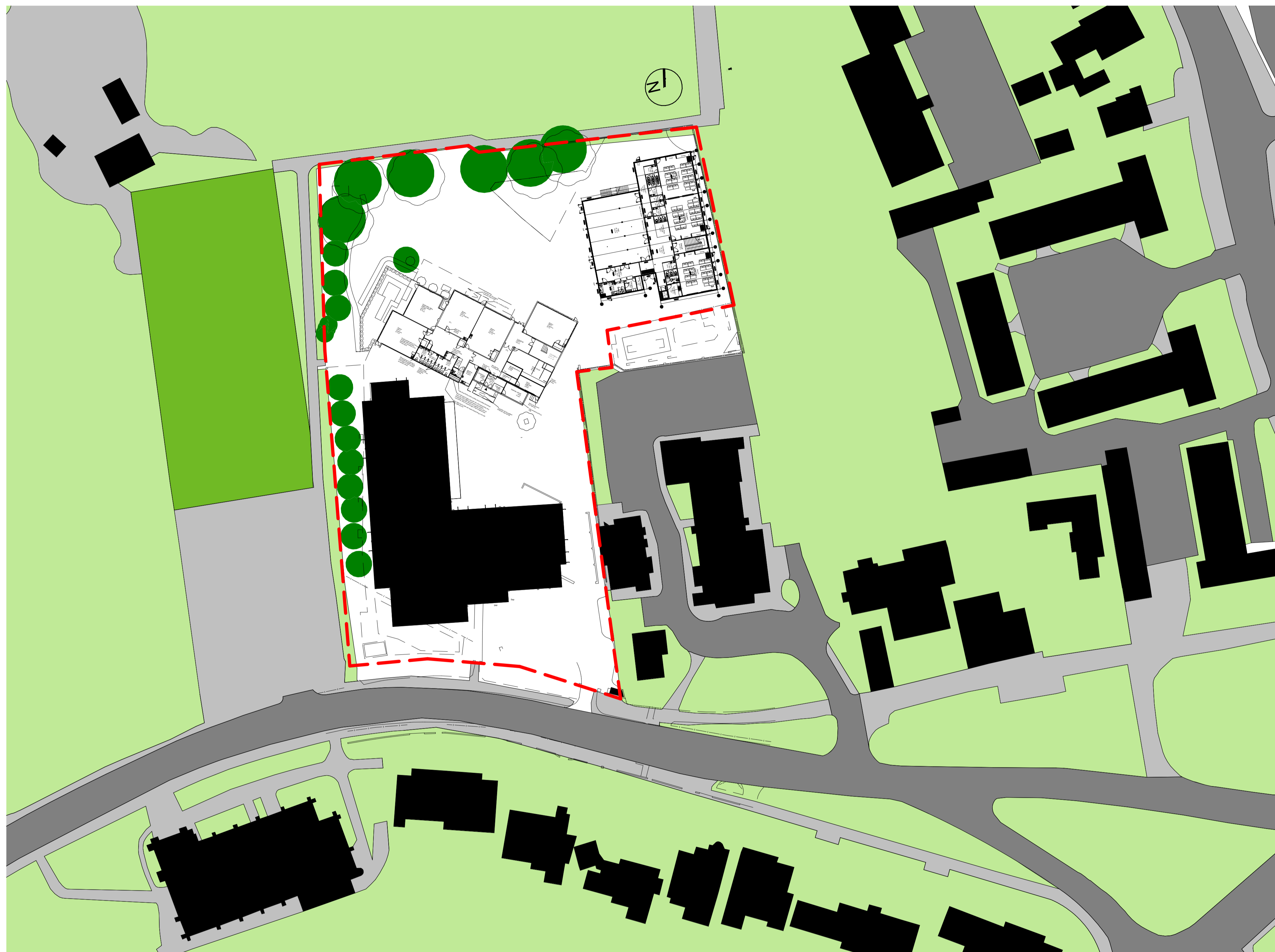


Project: Walker Primary School
 Title: Existing Block Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1 : 500 @ A1
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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-0003	S2	P1



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1 (PL)-PR-(00)-Block_Plan-ZZ-FP
 1 : 500

P1	First Issue	05.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By



Project: Walker Primary School
 Title: Temporary Phase 2 Site Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1 : 500 @ A1
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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-0004	S2	P1



1 (PL)-PR-(00)-Proposed Block_Plan
 1 : 500

P1	Final Issue	05.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By

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Project
Walker Primary School
 12 Great Portland Street
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 T : 0207 580 5330

Title
Proposed Block Plan

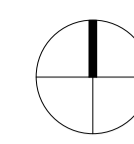
Client
Spatial Initiative on behalf of the ESFA

Purpose :
Planning Application

Scale :
1 : 500 @ A1

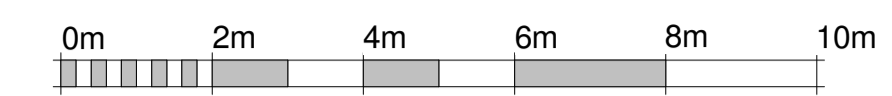
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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-0005	S2	P1

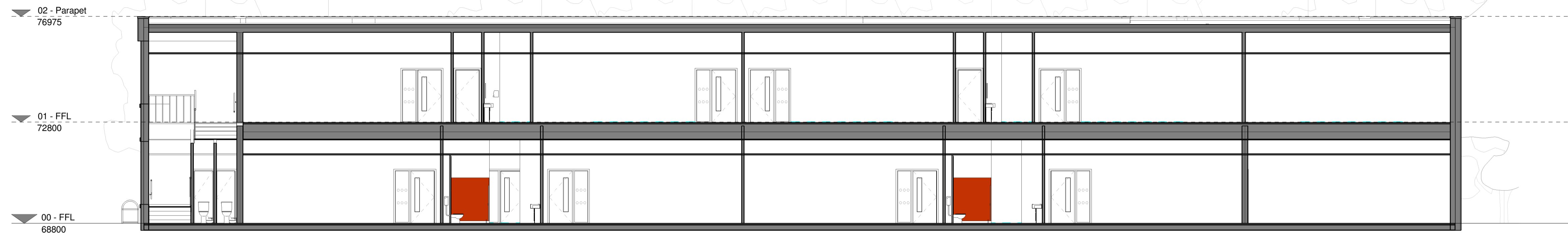


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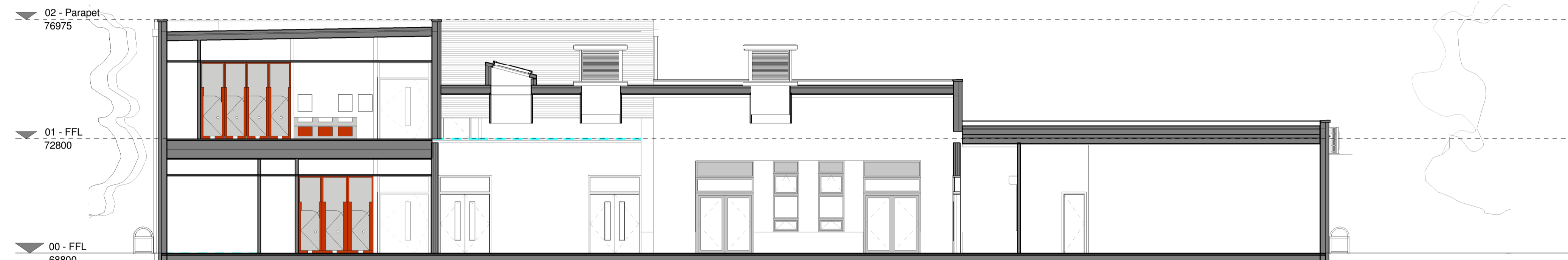
Structural information indicative only. To be confirmed by Structural Engineer.



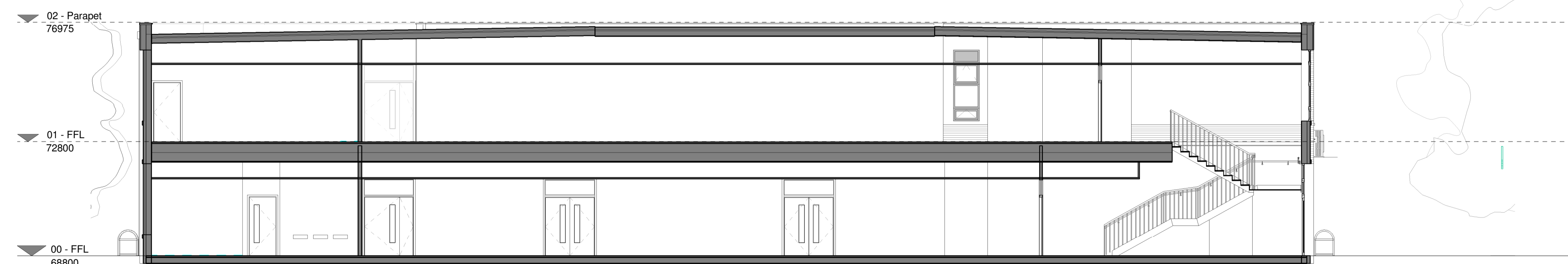
VISUAL SCALE 1:100 @ A1



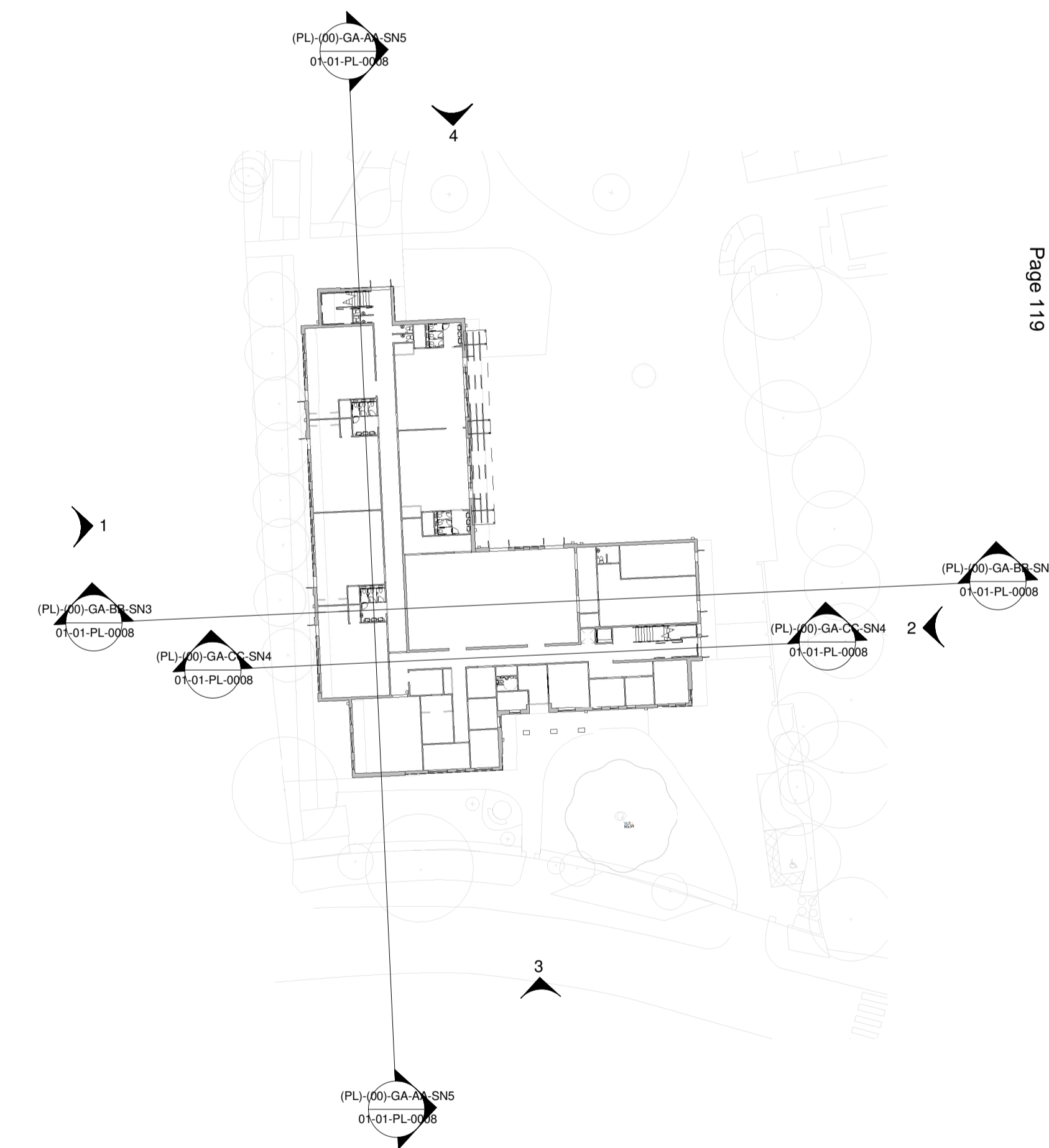
1 Section A-A
1 : 100



2 Section B-B
1 : 100



3 Section C-C
1 : 100



Page 119

P1	First Issue	05.04.2019	EG	AM
Rev	Description	Date	Drn By	Chk By

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Project
Walker Primary School

Title
Sections AA + BB + CC

Client
Spatial Initiative on behalf of the ESFA

Purpose
Planning Application

Scale
1:100 @ A1

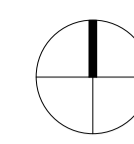
Drawing Number
102007-JMA-01-ZZ-DR-A-PL-1001

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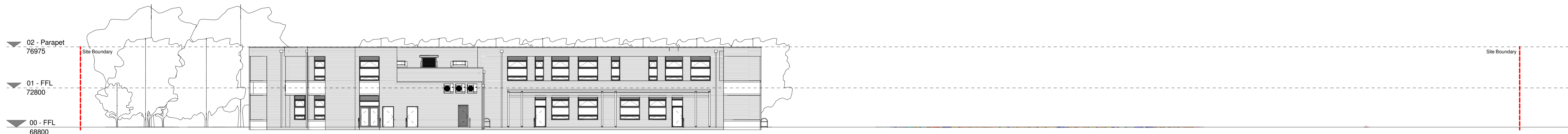
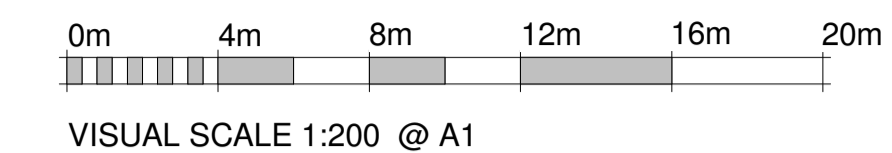
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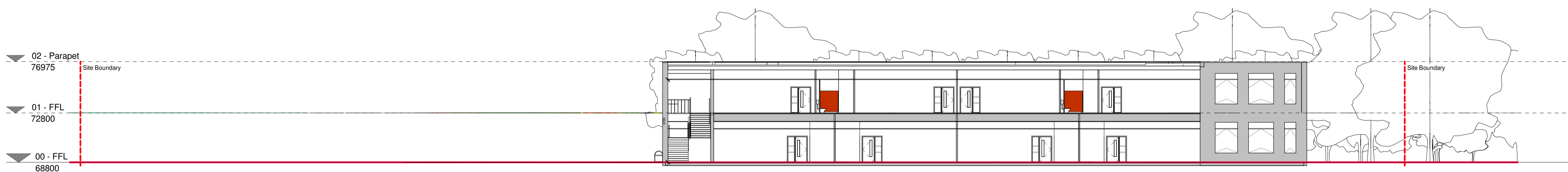
Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-1001	S2	P1



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2 (PL)-Section CC
1 : 200



3 (PL)-Section DD
1 : 200



P1	First Issue	05.04.2019	EG	AM
Rev	Description	Date	Drn By	Chk By

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Project
Walker Primary School
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T : 0207 580 5330

Title
Proposed Site Sections

Client
Spatial Initiative on behalf of the ESFA

Purpose :
Planning Application
Scale :
1:200 @ A1

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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-1002	S2	P1

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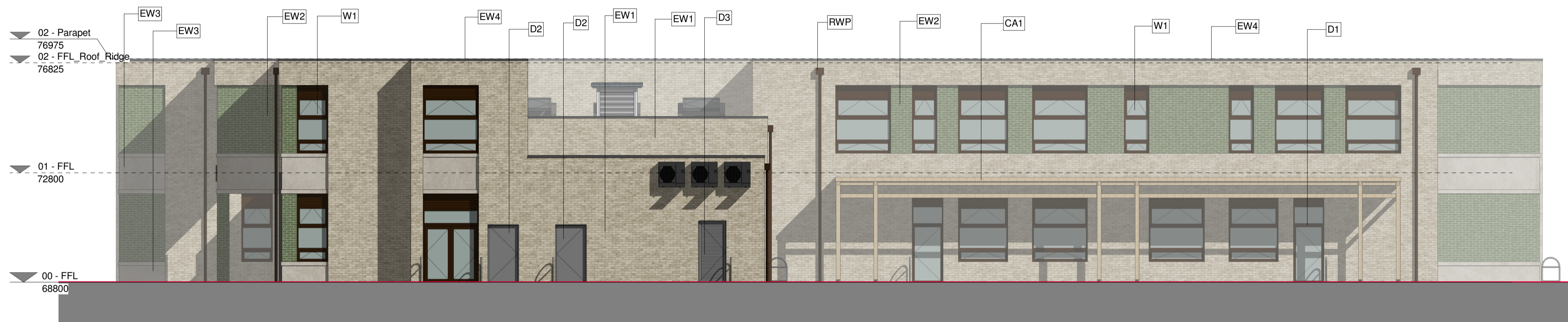
VISUAL SCALE 1:100 @ A1

(PL)-Proposed_Materials	
Material Key	Material

CA1	Canopy. Treated softwood frame with clear polycarbonate roof
D1	Aluminium glazed doors. PPC grey/brown RAL 8019
D2	Aluminium louvred doors. PPC grey/brown RAL 8019
D3	Aluminium solid doors. PPC grey/brown RAL 8019
EW1	Brickwork. Grey/stone/beige Corium mix
EW2	Brickwork. Green glazed Corium
EW3	Recon Stone
EW4	Concrete coping
RWP	Aluminium rainwater pipe & hopper. PPC grey/brown RAL 8019
S1	Flat cut metal lettering grey/brown RAL 8019 fixed to stone cladding
W1	Aluminium window with louvre panel above. PPC grey/brown RAL 8019
EW5	Tree logo tree in brickwork. Grey/Brown to match windows



1 West Elevation
1 : 100



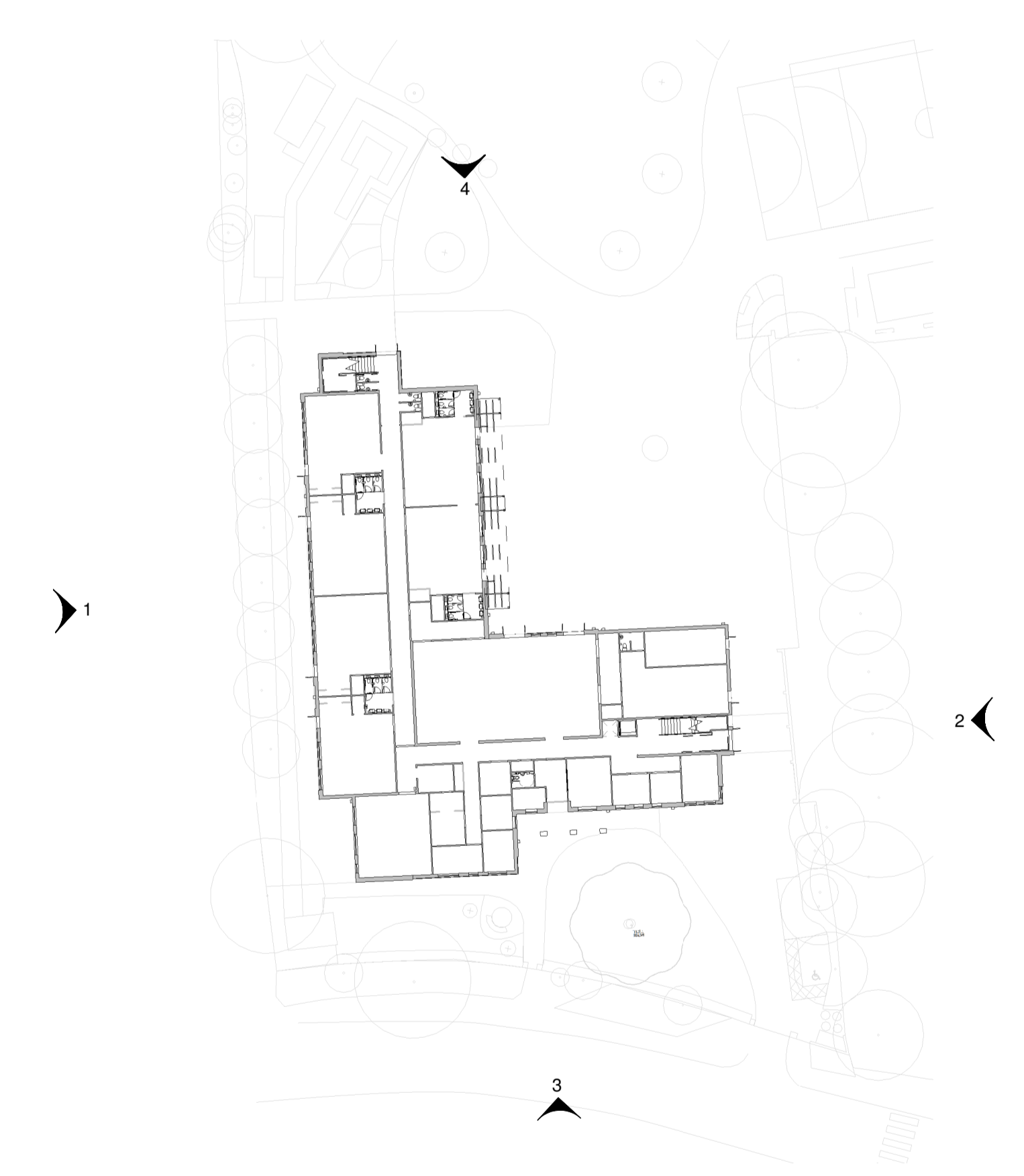
2 East Elevation
1 : 100



3 South Elevation
1 : 100



4 North Elevation
1 : 100



Page 121

P3	Amendments on specifications	05.04.2019	JT	AM
P2	Amendments on elevations	04.04.2019	JT	AM
P1	First Issue	02.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By

initiative **jmarchitects**

Project: Walker Primary School
 Title: Proposed elevations
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning
 Scale: 1:100 @ A1
 Drawing Number: 102007-JMA-01-ZZ-DR-A-PL-2001

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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-01-ZZ-DR-A-PL-2001	S2	P3

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P1 First Issue	05.04.2019	JT	AM
REV DESCRIPTION	DATE	DRN BY	CKD BY

Project Walker Primary School
Title View from Waterfall Road. Existing
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9001	S2 P1

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P1 First Issue	05.04.2019	JT	AM
REV DESCRIPTION	DATE	DRN BY	CKD BY

Project Walker Primary School
Title View from Waterfall Road. Proposed
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9002	S2 P1

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Project Walker Primary School
Title View from The Green. Existing
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number Project - Originator - Volume - Level - Type - Role - Class - Number	Status Revision
102007-JMA-01-ZZ-VS-A-PL-9003	S2 P1

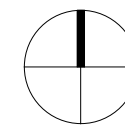
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Project Walker Primary School
Title View from The Green. Proposed
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number	S2 P1
102007-JMA-01-ZZ-VS-A-PL-9004	



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Project Walker Primary School
Title View from Street Entrance. Existing
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9005	S2 P1

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Project Walker Primary School
Title View from Street Entrance. Proposed
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9006	S2 P1

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Project Walker Primary School
Title Aerial view from North. Existing
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9010	S2 P1

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Project Walker Primary School
Title Aerial view from North. Proposed
Client Spatial Initiative on behalf of the ESFA

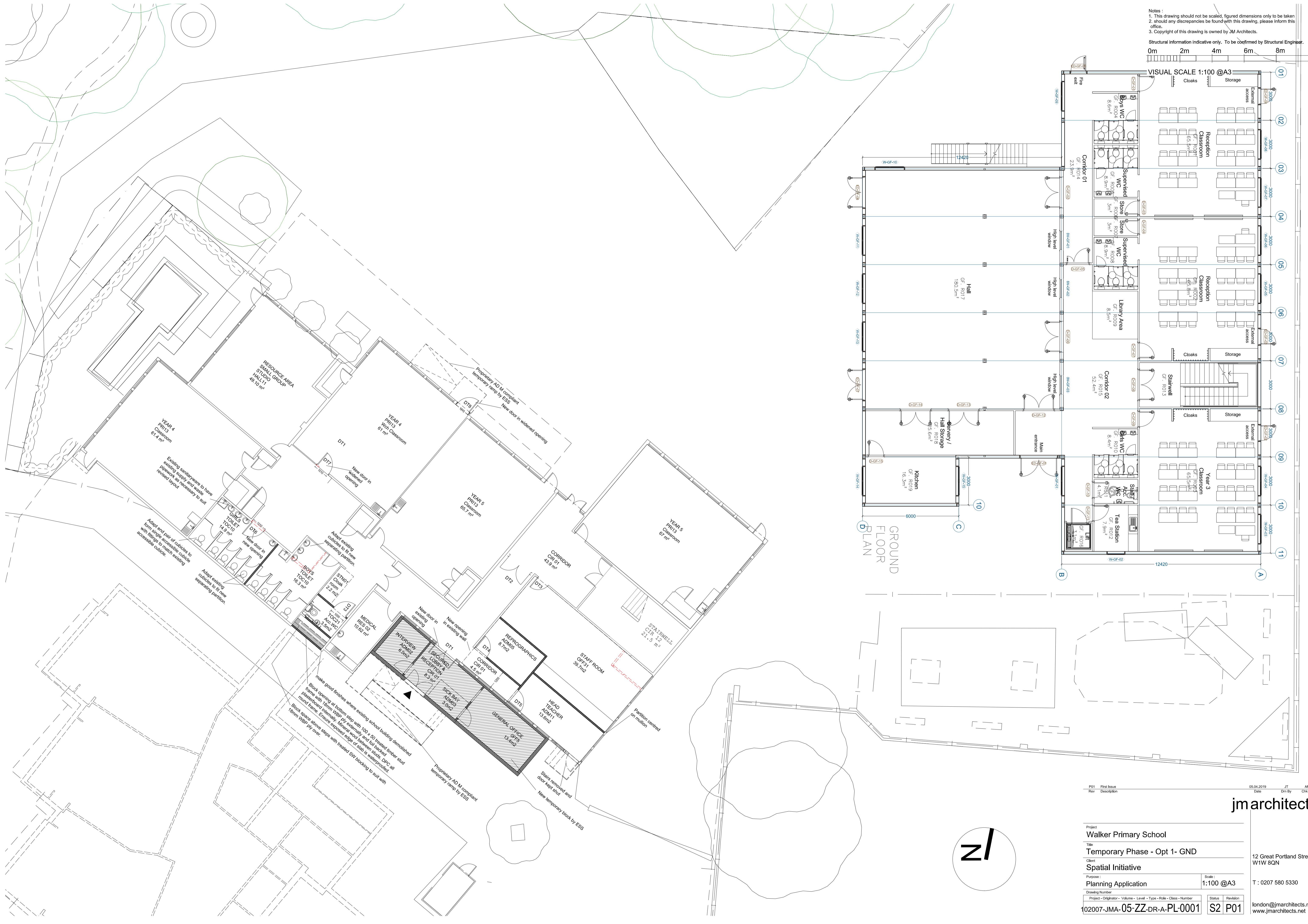
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Drawing Number	Status Revision
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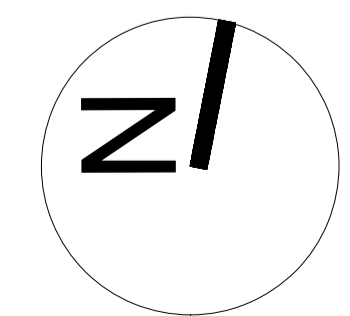
Structural information indicative only. To be confirmed by Structural Engineer.

0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @A3

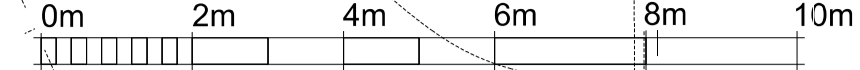


P01	First Issue	05.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By
jmarchitects				
Project: Walker Primary School				
Title: Temporary Phase - Opt 1- GND				
Client: Spatial Initiative				
Purpose: Planning Application				
Scale: 1:100 @A3				T: 0207 580 5330
Drawing Number: 102007-JMA-05-ZZ-DR-A-PL-0001				
Project - Originator - Volume - Level - Type - Role - Class - Number				Status Revision
				S2 P01
london@jmarchitects.net www.jmarchitects.net				

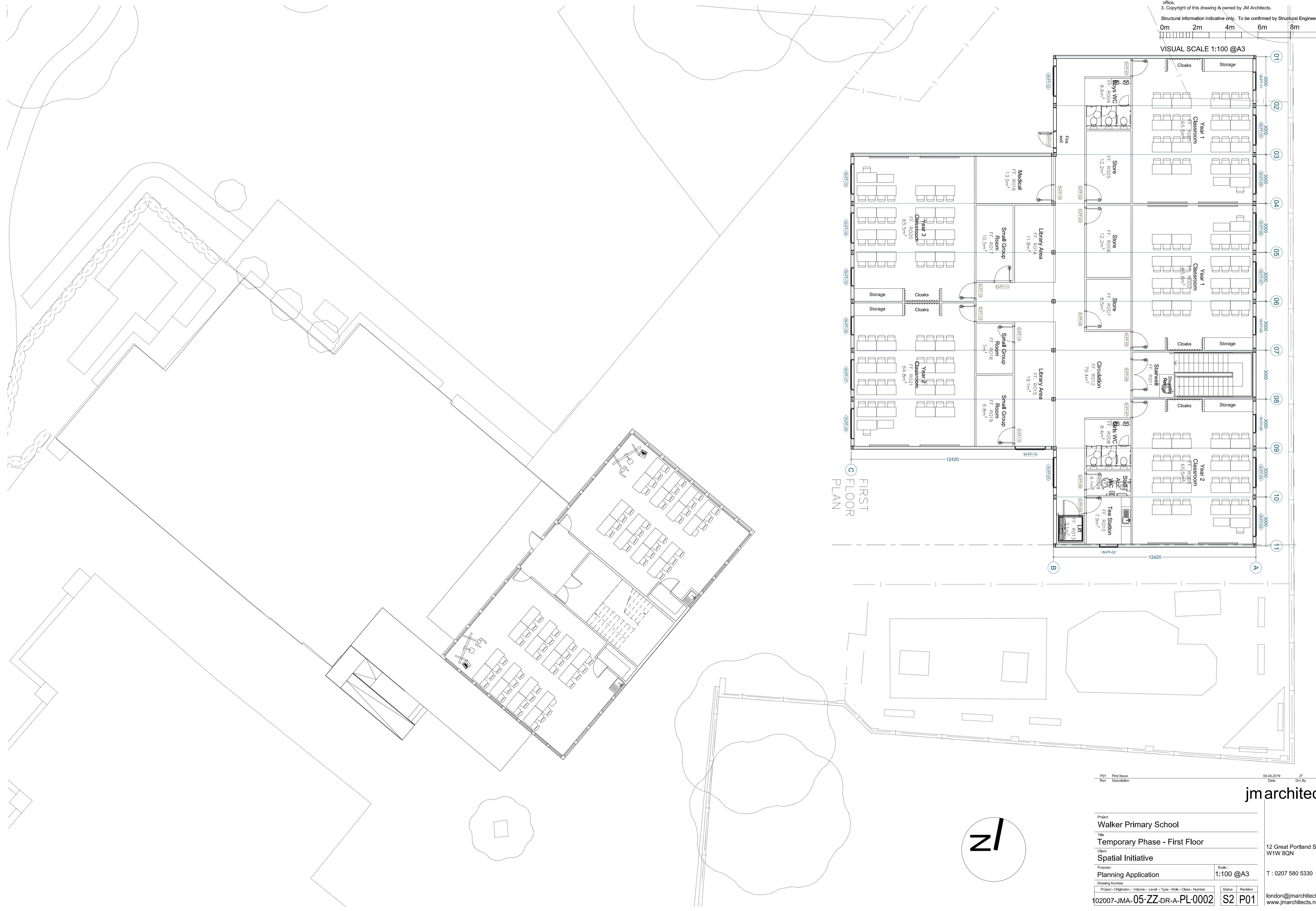


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VISUAL SCALE 1:100 @A3

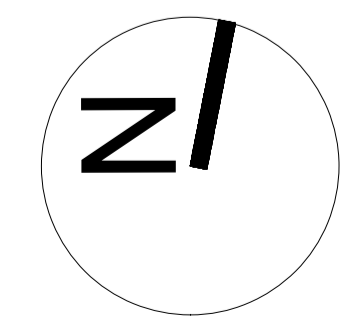


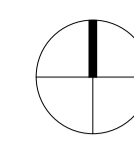
FIRST FLOOR PLAN

P01	First Issue	05.04.2019	JT	AM
Rev	Description	Date	Drn By	Chk By

jmarchitects

Project	Walker Primary School	12 Great Portland Street W1W 8QN
Title	Temporary Phase - First Floor	T : 0207 580 5330
Client	Spatial Initiative	london@jmarchitects.net www.jmarchitects.net
Purpose	Planning Application	Scale : 1:100 @A3
Drawing Number	102007-JMA-05-ZZ-DR-A-PL-0002	Status Revision S2 P01





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0m 10m 20m 30m 40m 50m
 VISUAL SCALE 1:500 @ A1



1 (PL)-PR-(00)-Temporary_Phasing-ZZ-FP
 1 : 500

P1	Final Issue	05.04.2019	JF	AM
Rev	Description	Date	Drn By	Chk By

initiative  jmachitects

Project
Walker Primary School
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 London
 W1W 8QN
 T : 0207 580 5330

Title
Temporary Phase 1 Site Plan

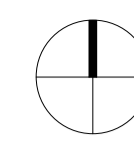
Client
Spatial Initiative on behalf of the ESFA

Purpose :
Planning Application

Scale :
1 : 500 @ A1

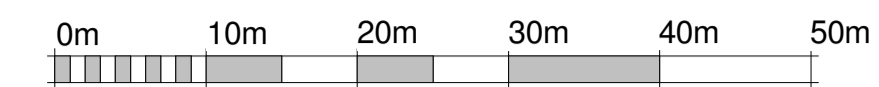
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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-05-ZZ-DR-A-PL-0012	S2	P1



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VISUAL SCALE 1:500 @ A1



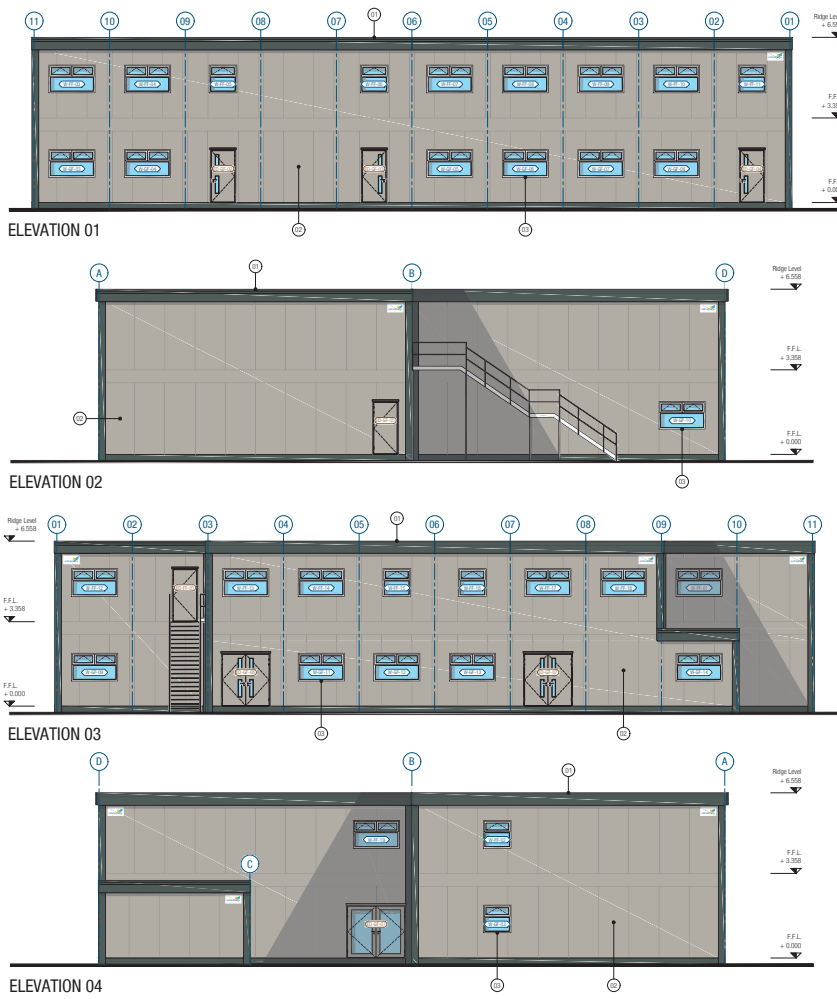
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P1	First Issue	02.04.2019	JF	AM
Rev	Description	Date	Drn By	Chk By

jmarchitects

Project: Walker Primary School
 Title: Site Demolition Plan
 Client: Spatial Initiative on behalf of the ESFA
 Purpose: Planning Application
 Scale: 1 : 500 @ A1
 12 Great Portland Street
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Project - Originator - Volume - Level - Type - Role - Class - Number	Status	Revision
102007-JMA-05-ZZ-DR-A-00-0013	S2	P1



EXTERNAL FINISHES LEGEND:

- 01: Plastisol coated steel finish - Colour: Merini Grey
- 02: Plastisol steel external finish - Colour: Goosewing Grey
- 03: uPVC framed double glazed windows - Colour: White

NO.	REV.	REVISION	DATE

STAGE: PRELIMINARY



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CLIENT: Education & Skills Funding Agency

PROJECT: Walker Primary School
 Temporary Accommodation

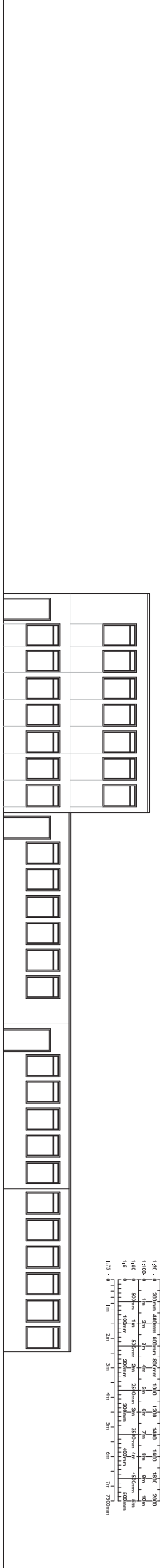
DRAWING TITLE: Elevations

DRAWN BY: J. Quinlan	CHECKED BY: -	DATE: July '18
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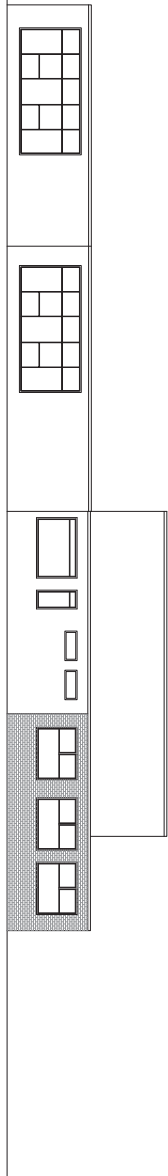
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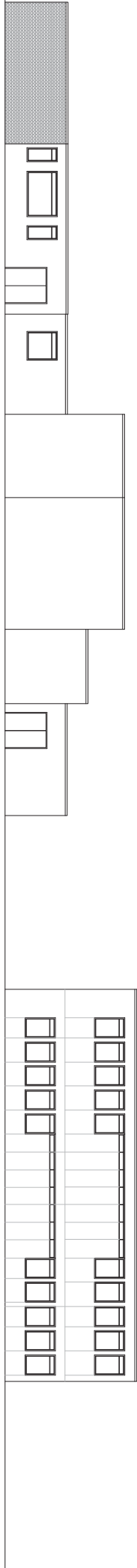
North Elevation
1:100



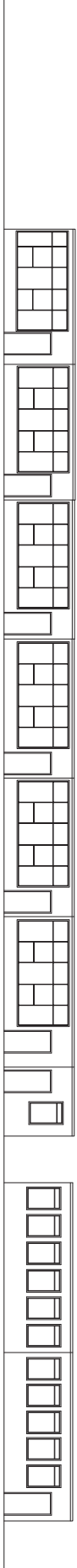
South Elevation
1:100



East Elevation
1:100

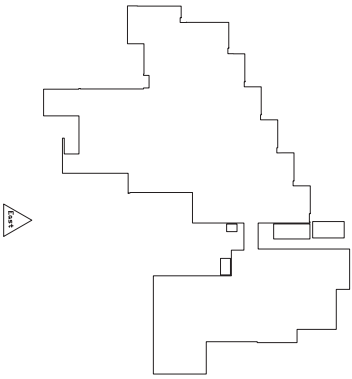


West Elevation
1:100



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1:25 1:50 1:100 1:200 1:400 1:800 1:1600 1:3200 1:6400



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CD1 - Initial Planning 06.09.18 MJ MHE
 DATE: 06.09.18
 DRAWN BY: MJ
 CHECKED BY: MHE

PROJECT: Walker Primary School

TITLE: Existing Elevations

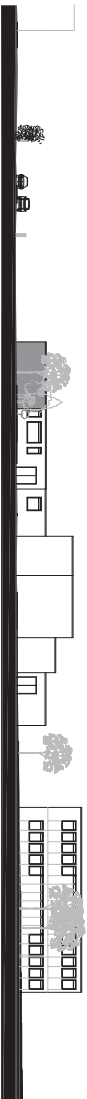
INITIATIVE:

PROJECT NO: 102007-JMA-01-ZZ-DK-A-00-2003

DATE: 11.00@A1 MJ MHE 23.05.18 A3

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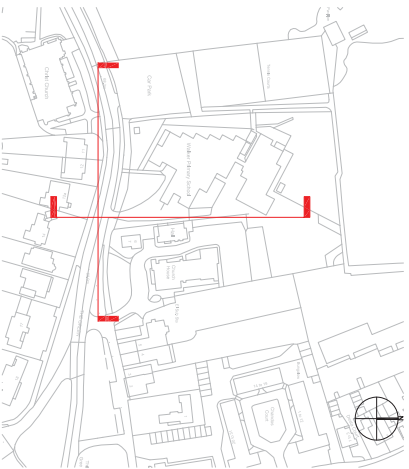
Existing Elevation Key Plan
1:500



Site Section A-A
1:500



Site Section B-B
1:500

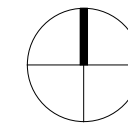


1:200

Site Elevation Key Plan
1:500

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Client: Walker Primary School
 Project: Site Elevation
 Date: 23.03.18
 Scale: 1:200
 Drawing: A3
 Designer: JARCHITECTS
 Checker: JARCHITECTS
 Approver: JARCHITECTS
 Project Manager: JARCHITECTS
 JARCHITECTS
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P1 First Issue	05.04.2019	JT	AM
REV DESCRIPTION	DATE	DRN BY	CKD BY

Project Walker Primary School
Title View from North across Playground. Proposed
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : @A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9009	S2 P1

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P1 First Issue	05.04.2019	JT	AM
REV DESCRIPTION	DATE	DRN BY	CHK BY

Project Walker Primary School
Title View from West across Cricket Pitch. Existing
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9007	S2 P1

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P1 First Issue	05.04.2019	JT	AM
REV DESCRIPTION	DATE	DRN BY	CKD BY

Project Walker Primary School
Title View from West across Cricket Pitch. Proposed
Client Spatial Initiative on behalf of the ESFA

Purpose : Planning	Scale : NTS@A3
Drawing Number	Status Revision
Project - Originator - Volume - Level - Type - Role - Class - Number 102007-JMA-01-ZZ-VS-A-PL-9008	S2 P1

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MUNICIPAL YEAR 2018/2019 REPORT NO. 224

COMMITTEE:

PLANNING COMMITTEE

23.04.2019.

REPORT OF:

Executive Director Place

Contact Officers:

Philip Wadsworth: CIL/S106 Infrastructure Manager (X2509) phillip.wadsworth@enfield.gov.ukSujata Majumdar: Principal Planning Officer (X3427) sujata.majumdar@enfield.gov.uk

AGENDA – PART 1	ITEM 9
SUBJECT - SECTION 106 AGREEMENTS – MONITORING INFORMATION, MID YEAR REPORT WARDS: ALL	

1. SUMMARY

- 1.1 This report provides an update on the monitoring of section 106 agreements (S106) and progress on section 106 matters during the period 1 April 2018 to 30 October 2018. It provides an overview of:
- the position regarding current S106 agreements, categorised by constituency, including the type and amount of financial obligations, progress on spend and implementation of schemes; and
 - new S106 agreements agreed and signed since April 2018
- 1.2 This report is provided for information only. Members are invited to contact the officers named above for more information on individual schemes.
- 1.3 As set out in this report, there has been significant increase in the amount of S106 funds that has been collected and spent since the beginning of the last reported financial year (2017/2018). This is summarised below

Financial year	Collected	Spent
Quarters 1 and 2 (2017/2018)	373k	£62k
Quarters 1 and 2 (2018/2019)	£1 million	£260K (largely related to traffic and transportation schemes).

- 1.4 A further £1.2 million has been collected since quarters 1 and 2 (2018/2019) and it is expected that approximately £2.4 million will be spent before the end of 2018/2019, thus demonstrating good progress on the collection and expenditure of S106 monies and representing our most successful period since the introduction of community infrastructure levy (CIL) charging in the borough in 2016. Further details will be reported at the next planning committee over the summer period.

2. RECOMMENDATION

- 2.1 That Planning Committee note the contents of this report and its annexes.

3. S106 MONITORING OVERVIEW

- 3.1 Planning obligations (often referred to as 'S106 agreements') are legal agreements between developers and the council towards the provision of affordable housing, local training and jobs and other site-specific mitigation measures to lessen the negative impacts of development. An S106 agreement is intended to make a development 'acceptable' in planning terms which would otherwise be deemed as unacceptable. Obligations under section 106 can be either financial or non-financial in nature. The Section 106 Supplementary Planning Document (SPD) provides further information on how the obligations system operates.
- 3.2 At 30 September 2018, there were 86 individual S106 agreements in the active programme where monies had been received, containing approximately 231 heads of terms. Projects are currently being delivered using these funds. The position regarding the implementation of these S106 agreements at the end of the monitoring period is set out in annex 1. A copy of the spreadsheet has also been placed in the members library. An overview of the financial information contained in Annex 1 is set out in table 1 below.

Table 1: Summary of S106 funds received and expenditure programmed

Status	Total amount (£)
Opening balance at the start of 2018/19	£6,408,610.30
Total amount of S106 payments received	+ £1,005,831.39
<u>In year movements:</u>	
<ul style="list-style-type: none"> • Sub-total of outward in year movements • Money moved to contingency • Total amount drawn down in 2018/19 	- £253,620.00 - £ - £260,487.59
The total amount drawn down is broken down as follows:	
<ul style="list-style-type: none"> • Q1 drawdown total £13,836.62 • Q2 drawdown total £246,650.97 	
Interest received to 30 September 2018	+ £19,225.17
Closing balance at 30 September 2018	£6,919,559.27

- 3.2 As set out above, the council has received **£1,005,831.39** for the first half of 2018/19 in S106 planning obligations; the majority of these receipts relate to education and

employment, skills and training contributions. Significant sums have been received towards education facilities (£276K from the development at Trent Park) and apprenticeships (£112K from the development at 90 to 98 and 104 Lockwood Avenue). Other receipts relate to sustainable transport measures, affordable housing contributions, community facilities and health-related outcomes.

- 3.3 As of May 2016 (National Planning Policy Guidance), a change in national policy reduced the circumstances whereby contributions can be sought from smaller developments of 10 or fewer units. Although the council can still seek contributions towards affordable housing where the floorspace of the site is at least 1,000 square metres (or greater), there has been a much reported slow-down in sales and drop in prices at the higher-end of the residential market. As such, fewer applications of 1,000 square metres and above have been submitted in comparison with previous years, and the relationship between planning and the wider economy cannot be ignored.
- 3.4 Policy H2 (Small Sites) of the draft New London Plan states boroughs wishing to apply affordable housing requirements to sites capable of delivering ten units or fewer and which have a maximum combined gross floor space of no more than 1,000 sqm should only require this through a tariff approach to off-site contributions rather than seeking on-site contributions. Boroughs are strongly encouraged to provide the flexibility for payments to be collected prior to the occupation of development, rather than prior to commencement of development.
- 3.5 Many section 106 agreements contain clauses which require the monies to be spent within either a 5-or-10-year window. Following the completion of this period, any unexpended funds - plus the accumulated interest - should be returned to the developer / landowner. Due to the length of the timeframes for spending the monies, it is not uncommon for initial project identification to take up to a year (or slightly longer), particularly where large or more complex works will be undertaken.

4. KEY PROJECTS FUNDED USING SECTION 106 CONTRIBUTIONS

Spend during Q1 and Q2

- 4.1 Spend during Q1 and Q2 partially funded various small-scale highways and traffic and transportation projects, including part of the Ponders End Cycle Enfield route, addressing aquatic issues at Mossops Creek, widening works at Gilbert Street, landscaping at Pymmes Park and a pelican crossing at Bramley Road. Draw down for capital schemes (for example, primary school expansion schemes) and for the provision of affordable housing in the borough is not until the end of the financial year; this is when the most significant expenditure is expected to take place.

Affordable housing

- 4.2 The London Plan (Greater London Authority, 2016) requires developments to make the maximum reasonable provision for affordable housing. Affordable housing should be provided on-site in the first instance, although this can be provided off-site or through an in-lieu payment in exceptional circumstances. Affordable housing development is covered by capital spending. The contributions are used to replenish such budgets. Section 106 funds are drawn down and the various contributions are allocated to projects as part of the draw down process at the end of each financial year.

- 4.3 Following on from the Grenfell fire incident, significant work needed to be done to re-prioritise housing schemes and so all S106 contributions from 2017/18 year were rolled forward to fund works in the last financial year. Major works which contributions were applied in 2018-19 include the council's housing renewal schemes at Small Sites 1, Newstead House, New Avenue and Upton and Raynham.

Business, employment & skills

- 4.4 The Build Enfield Programme is being developed to enable Enfield's residents to access jobs being created through developments, particularly with the onset of the Meridian Water development.
- 4.5 £283,825 of the employment & skills S106 monies has been matched with the GLA's European Social Fund, creating a total fund of £525,076. This is being used to commission a service to support developers and applicants in the design and delivery of employment and skills plans (ESPs) to meet their S106 and social value [in procurement] obligations in Enfield. The commissioning and contract management is being managed by London Councils.
- 4.6 The Build Enfield website is being redesigned to create customer journeys for residents seeking careers in construction, local businesses to be included in supply chains also obligated in S106 agreements, and information for developers to successfully include business, employment and skills S106 conditions in a planning application.
- 4.7 £90,000 of funding from the Alma Estate S106 agreement ringfenced for job-brokerage is being used to commission a job brokerage service to post job, apprenticeship and training opportunities on the Build Enfield website and engage residents to these opportunities.
- 4.8 Officers are working with neighbouring boroughs and major housing and infrastructure leads to create a partnership to co-ordinate longer placements with shared developers long enough for higher apprenticeships.
- 4.9 An application is being made to the Department for Work and Pensions for Community Budget funding to support young offenders affected by gang crime to be supported to access S106 construction jobs and training. This is being matched by the GLA's New Homes Bonus funding for job outcomes.
- 4.10 The above five elements are being packaged as the Build Enfield Programme which will be promoted via the Communications Team.
- 4.11 Moving forward, the business process for S106 clauses negotiations is being analysed as to how and when business, employment and skills conditions are agreed when the council considers a planning application or supports a pre-application to ensure maximised benefits are being secured.

Traffic & transportation

- 4.12 The focus of the service has been to commit and spend any backlog of dedicated traffic & transportation (T&T) s106 monies, which has been successfully achieved. Meetings with lead officers have now moved towards identifying schemes for the top ten highest balances relating to traffic and transportation heads of terms. These schemes are expected to be formally allocated by the end of the first quarter of 2019/20 and potentially include a new pedestrian crossing at Lavender Hill, a PERS

audit and improvements to greenways links at Station Road, junction improvements at Hastings Road/A406, a roundabout study at Cat Hill Road and improvements to bus stops around Enfield College.

4.13 Key T&T projects funded through S106 in 2018/19 are:

- Cycle Enfield A105;
- A1010 South;
- Ponders End Majors Scheme;
- widening works at Gilbert Street;
- junction improvement works at Parsonage Lane,
- new pedestrian crossing at Cat Hill; Toucan crossing on Queensway to accommodate the additional pedestrian movements between the eastern access point and Tesco car park;
- footway improvements at Chelmsford Road;
- bus stop improvements at Chase Farm Hospital; and
- highways safety improvement scheme at Hadley Road.

Education

4.14 Education is covered by capital spending. Section 106 contributions are allocated to projects and funds are drawn down at the end of each financial year in accordance with the schemes identified in the approved School Expansion Programme (SEP) up to 2021/22. These schemes will be reported on in more detail alongside other successfully delivered S106 funded schemes in October 2019.

Parks

4.15 Enfield has an extensive range and diverse network of open spaces including parks, playing fields, allotments, cemeteries, green corridors and waterways. An audit of the borough's open space will form part of the review of the Local Plan.

4.16 S106 monies have been allocated towards the following schemes to be delivered over the next two financial years:

- Tree planting at Montagu Recreation Ground.
- Landscaping works and a bandstand at Hillyfields Park.
- Playground equipment at Bush Hill Park.
- Renovation and restorations to the historical ice house at Oakwood Park.
- A new notice board at Elsing Park.

Health

4.16 The Section 106 Supplementary Planning Document states that developments of 50 or more dwellings must make contributions towards the provision of health facilities in the borough.

4.17 As part of the Local Plan review, an Infrastructure Delivery Plan will be produced incorporating a comprehensive assessment of health infrastructure requirements and identifying potential projects that can be funded through S106 contributions.

5 S106 FUNDS AGREED BUT NOT YET RECEIVED

5.1 In addition to the agreements where monies have been received, there are a further

set of agreements where contributions have been agreed and planning consents granted - but funds have not yet been received. These agreements are shown in annex 2.

- 5.2 In these cases, the payments have not been received as the relevant 'trigger points' (i.e. stages of development) have not yet been reached. Typical 'trigger points' for receipt of payments are the commencement of development works on site, or the first occupation of the development.
- 5.3 Attention should, however, also be drawn to the fact that not all financial contributions agreed via signed S106 agreements will ultimately be received. While section 106 of the Town and Country Planning Act 1990 allows the local planning authority to require and enforce the payment and infrastructure obligations, it also contains a provision which entitles the other parties to apply to the council to vary or delete any obligations contained in their agreement. Potential variation of the S106 can happen at any point in the process between the signing of the initial S106 agreement and completion of the development. Variation may reduce the value of or strike out any previously agreed contributions.
- 5.4 Additionally, monies in a completed S106 agreement would not become due if the landowner/developer simply decides not to progress development after permission has been granted. In cases where a planning permission expires after its 3-year lifespan, new planning application(s) and S106 agreement(s) may supersede an earlier agreement. National policy changes can also impact on receipts, as was the case following the Court of Appeal ruling on small sites (May 2016), which resulted in contributions no longer being sought for residential proposals providing 10 or fewer units where the gross floorspace of the site does not exceed 1000 square metres.
- 5.5 An additional 10 agreements were completed during the first half of 2018/19. These are:
- Maldon Road Car Park Newstead House (Section 106 signed 12.04.18)
 - Rear of 48 Gresham Close (Section 106 signed 13.04.18)
 - Land Adjacent to 842 Hertford Road (Section 106 signed 02.05.18)
 - 23 Camlet Way (Section 106 signed 05.05.18)
 - New Avenue Estate (Section 106 signed 21.05.18)
 - The Fox Public House (Section 106 signed 18.06.18)
 - Brimsdown Sports Club at Goldsdown Road (Section 106 signed 20.06.18)
 - Premier Inn 4 Solar Way (Section 106 signed 15.07.18)
 - 465-469 Green Lanes (Section 106 signed 13.08.18)
 - Tottenham Hotspur Football Club Western Field (Section 106 signed 21.12.08)

6. COMMENTS OF THE DIRECTOR OF FINANCE, RESOURCES AND CUSTOMER SERVICES AND OTHER DEPARTMENTS

Financial implications

- 6.1 The financial position as described in the report has been discussed with finance staff and reflects the position as reported in the S106 monitor (as of 30 September 2018).

Annex 1 contains proposals for the allocation of approved S106 monies to specific work programmes. Approvals of individual schemes within the proposed programme are subject to separate reports and full financial appraisal. Expenditure incurred on these schemes will be reported as part of the regular monitoring process and drawn down from available S106 funds at year-end. Amounts committed to projects including the nature of potential expenditure have been updated following advice from officers leading on individual schemes.

Legal implications

- 6.2 By virtue of Section 106 of the Town and Country Planning Act (as amended), the council may secure planning obligations to make development acceptable which would otherwise not be acceptable in planning terms. Obligations must be secured in line with the Section 106 Supplementary Planning Document. Where financial contributions are required, the terms of the obligation dictate the way in which any financial obligation held by the council may be spent and must be spent before the applicable deadline. Following expiry of a spend deadline, any funds which remain unspent should be returned to a developer.

Background papers

- 6.3 None.

Annex 1: Total monies received

Hard copies will be placed in the Members library. If these are not legible, electronic copies of the spreadsheet are available from Governance Services.

Annex 2: Agreements signed where payments have not yet been received

Hard copies will be placed in the Members library. If these are not legible, electronic copies of the spreadsheet are available from Governance Services.

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